



BAY CITY

MINUTES • MARCH 10, 2016

Council Chambers

Special Meeting

12:00 PM

1901 5TH STREET
BAY CITY, TX 77414

1. CALL TO ORDER & CERTIFICATION OF QUORUM

Attendee Name	Title	Status	Arrived
Mark Bricker	Mayor	Present	
Julie Estlinbaum	Mayor Pro-Tem	Present	
William Cornman	Councilman	Present	
Chrystal Folse	Councilwoman	Present	
Steven Johnson	Councilman	Excused	
Carolyn Thames	Councilwoman	Present	

2. REGULAR ITEMS FOR DISCUSSION, CONSIDERATION AND/OR APPROVAL:

1. Planning / Plat

REVIEW AND DISCUSS INITIAL DRAFT OF FORM BASED CODES FOR DOWNTOWN BAY CITY AREA, AND DIRECT STAFF AS NECESSARY.

Tara Salmieri, PlanActive Studio
Mayor yielded to Tara Salmieri

Ms. Salmieri began by providing some background regarding the project. She then moved on to review the draft version of the Form Based Code.

Ms. Salmieri reviewed the regulating map that displayed the setback numbers for the area. She explained that there were 15 different building types that had been identified. There was some concern regarding the homes being built in the North Downtown area. Ms. Salmieri stated that cottages would be allowed, but there was a question if a home would be considered a cottage. It was pointed out that there were homes in the areas that are not considered cottages.

Council asked for examples of civic and institution building types. Ms. Salmieri stated that the Train Depot, City Hall and the USO would be examples of Civic; and a church would be considered an institution. There was an error that was noticed in the commercial portion of the form based codes.

Council asked would be the next step. Ms. Salmieri suggested that everyone review the document, and if there were any questions we would make a list and present it to her. The attorney would then review the document.

June Farrell with Jones & carter suggested that Dustin compile all of the comments and submit them to Ms. Salmieri. Ms. Salmieri stated that she had a spreadsheet that would help organize it.

Councilman Cornman commented that he thought there would be some standards included in the document as to what the buildings would look like. Ms. Salmieri

asked if he meant architecture, and Councilman Cornman stated yes. Ms. Salmieri stated that would be more of an architect. She added that it was an area of expertise. Councilman Cornman also asked about signs. Ms. Salmieri stated that she had an arsenal of signage.

It was the consensus of Council that the document did not impede the development process. Council collectively felt that the City's staff often sees things as they are written. There should be some flexibility.

It was also the consensus of Council to have another meeting and have the Building Department included.

Mrs. Dunham stated that Ms. Salmieri did not speak to landscaping. Ms. Salmieri referred to page 28. Mrs. Dunham asked for clarification on furnishings zones and landscape standards. Ms. Salmieri clarified that would be for someone that wanted to add a new street, or if someone did not want frontage they would have to do this.

Ms. Salmieri reminded everyone that the document was living and breathing, and that it would need to be updated.

It was the consensus of everyone that the 30% located under Applicability was too low. Ms. Salmieri stated that it should be left to Council to determine what number they want. Ms. Salmieri stated that she would add language regarding individuals that were renovating properties.

Councilwoman Folse asked when they would meet with staff. Dustin Hodges stated that he would get everyone's comments then submit them to Ms. Salmieri. Once Ms. Salmieri received the comments they would get together.

3. ITEMS / COMMENTS & MAYOR AND COUNCIL MEMBERS

4. ADJOURNMENT

AGENDA NOTICES:

Action by Council Authorized:

The City Council may vote and/or act upon any item within this Agenda. The Council reserves the right to retire into executive session concerning any of the items listed on this Agenda, pursuant to and in accordance with Texas Government Code Section 551.071, to seek the advice of its attorney about pending or contemplated litigation, settlement offer or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas conflict with the Open Meetings Act and may invoke this right where the City Attorney, the Mayor or a majority of the Governing Body deems an executive session is necessary to allow privileged consultation between the City Attorney and the governing body, if considered necessary and legally justified under the Open Meetings Act. The City Attorney may appear in person, or appear in executive session by conference call in accordance with applicable state law.

Attendance By Other Elected or Appointed Officials:

It is anticipated that members of other city board, commissions and/or committees may attend the meeting in numbers that may constitute a quorum of the other city boards, commissions and/or committees. Notice is hereby given that the meeting, to the extent required by law, is also noticed as a meeting of the other boards, commissions and/or committees of the City, whose members may be Agenda City Council August 8, 2013 in attendance. The members of the boards, commissions and/or committees may participate in discussions on the same items listed on the agenda, which occur at the meeting, but no action will be taken by such in attendance unless such item and action is specifically provided for on an agenda for that board, commission or committee subject to the Texas Open Meetings Act.

Executive Sessions Authorized:

This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the governmental body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

This is to certify that the above notice of a Special Called Meeting was posted on the front window of the City Hall of the City of Bay City, Texas on Thursday, March 3, 2016 before 12:00 p.m. Any questions concerning the above items, please contact Mayor Mark A. Bricker at (979) 245-2137.

Rhonda Clegg
City Secretary



City Council
1901 5Th Street
Bay City, TX 77414

SCHEDULED

Meeting: 03/10/16 12:00 PM
Department: Mayor's Office
Category: Planning / Plat
Prepared By: Dustin Hodges
Initiator: Dustin Hodges
Sponsors:
DOC ID: 2238

DISCUSSION ITEM (ID # 2238)

**REVIEW AND DISCUSS INITIAL DRAFT OF FORM BASED
CODES FOR DOWNTOWN BAY CITY AREA, AND DIRECT
STAFF AS NECESSARY.**

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DRAFT

Chapter XX Downtown Bay City Land Development Code

Article I. General

The Downtown Bay City Land Development Code provides a set of standards for specific boundaries within the City of Bay City that is intended to regulated the form and preserve the character of these areas.

Sec. XX.01 Purpose

The purpose of the Downtown Bay City Land Development Code is to reinforce the existing character and form of the Downtown. The Form-Based Code is a reflection of the community vision for the North Downtown, the Comprehensive Plan, and the historic built area(s) as identified in the Sec. xx.03, Regulating Plan, Figure 1.0.

Sec. XX.02 Applicability

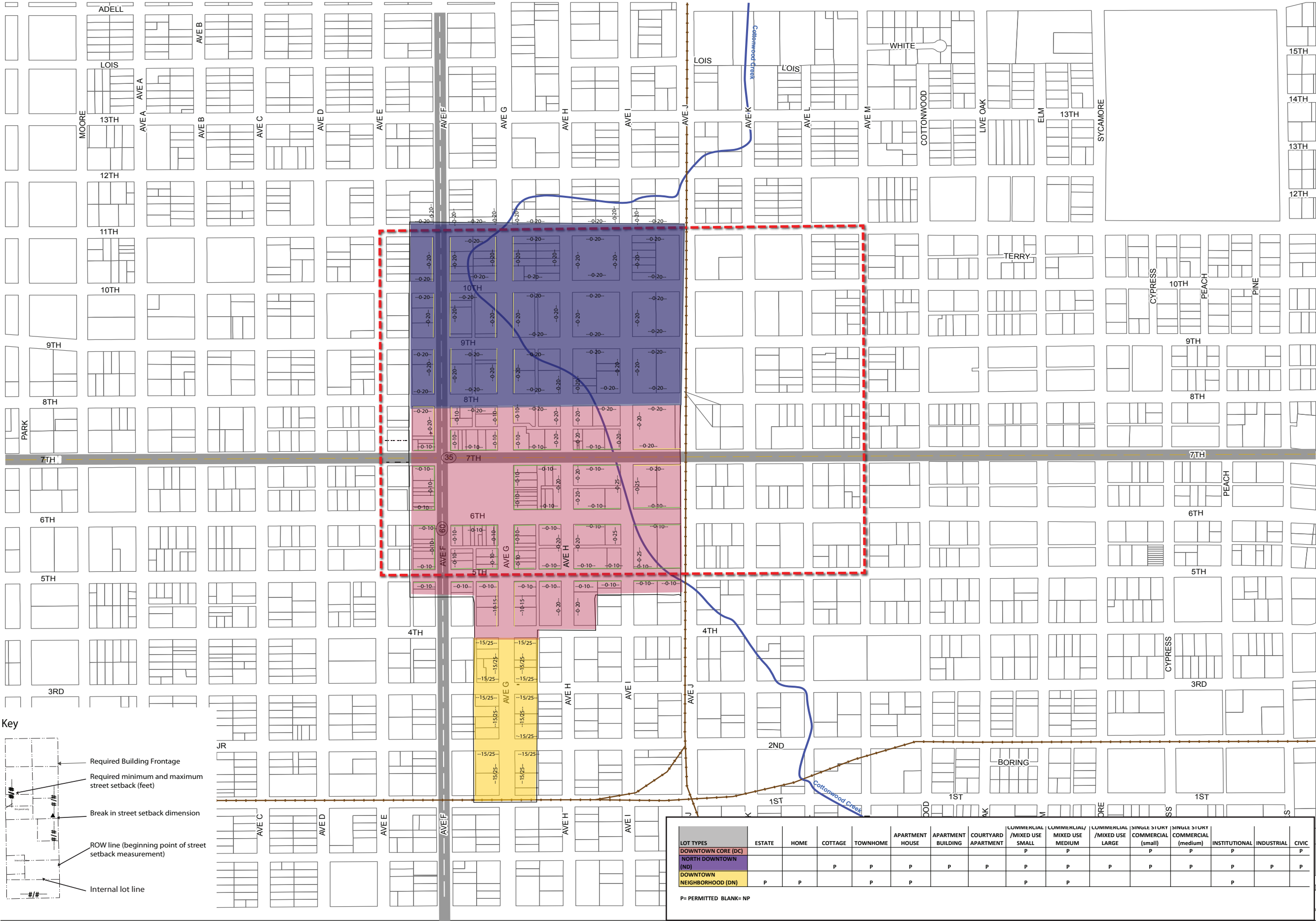
The Downtown Bay City Land Development Code applies to all the land that is identified, by sub-district, as adopted in the Regulating Plan. All other property not included in the Regulating Plan in accordance with this Chapter, shall be governed by the applicable chapters of the Bay City Code of Ordinances.

This ordinance shall apply to:

- (a) All new development
- (b) Renovations and redevelopment. In the case of additions or renovations to, or redevelopment of, an existing building or project, exceeds 30% of the existing structure, the provisions of this ordinance shall apply. Owners of land, may also “opt in” if they do not meet the 30% building improvement.

Sec. XX.03 Regulating Plan

The Downtown Bay City Land Development Code is implemented through the Regulating Plan and assigns sub districts to the areas of land that are assigned to this Plan. The Regulating Plan also identifies the required front setbacks for any new development and required building frontages.



VICINITY MAP
Scale: 1 inch equals 10 miles

LEGEND

- Rail Road (TxDOT Data)
- Stream
- Parcels
- TIRZ
- North Downtown (ND)
- Downtown Core (DC)
- Downtown Neighborhood (DN)
- Building Frontage (100%)
- Building Frontage (75%)

PLANACTIVE STUDIO

CITY OF BAY CITY TEXAS

*Aerial Imagery flown January 2012

CITY OF BAY CITY
MATAGORDA COUNTY, TEXAS

JONES CARTER
Texas Board of Professional Engineers Registration No. F-439

Figure 1.0
Regulating Plan

1 inch equals 300 feet

Disclaimer:
This product is offered for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property, governmental and/or political boundaries or related facilities to said boundary. No express warranties are made by Jones & Carter, Inc. concerning the accuracy, completeness, reliability, or usability of the information included within this exhibit.

Coordinate System: NAD 83 TX CENTRAL 4203 FEET
Vertical Datum: NAVD 1988 - 2001 Adjustment

Sec. XX.04 Downtown Districts

Bay City's Downtown Land Development Code has three sub-districts as identified in the Regulating Plan:

- (a) Downtown Core (DC), the area that is widely known as the historic downtown that has a range of building types, provides the most interconnected and walkable areas.
- (b) North Downtown (ND), the area that has a range of building types and has a desire to integrate as part of the Downtown Core.
- (c) Downtown Neighborhood (DN), the area that is predominately large estate homes and single-family homes that serve as a connection from DC to the Train Depot.

Sec. XX.05 Building Lot Types

Building types are permitted by Sub-district when any new and/or redevelopment occurs on any parcel within the Bay City Downtown Regulating Plan. The building typologies are consistent with the size, scale and character desired within each sub-district. The following building types are permitted, by sub-district as listed:

Table 1.0 Building Lot Types

P= PERMITTED BLANK= NOT PERMITTED

LOT TYPES	DOWNTOWN CORE (DC)	NORTH DOWNTOWN (ND)	DOWNTOWN NEIGHBORHOOD (DN)
ESTATE			P
HOME			P
COTTAGE		P	
TOWNHOME	P	P	P
APARTMENT HOUSE	P	P	P
APARTMENT BUILDING	P	P	
COURTYARD APARTMENT		P	
COMMERCIAL/MIXED USE SMALL	P	P	P
COMMERCIAL/MIXED USE MEDIUM	P	P	P
COMMERCIAL/MIXED USE LARGE		P	
SINGLE STORY COMMERCIAL (small)	P	P	
SINGLE STORY COMMERCIAL (medium)	P	P	
INSTITUTIONAL	P	P	P
INDUSTRIAL		P	
CIVIC	P	P	

The following categories are regulated, by building lot type, for each permitted building type listed in Table 1.0 Building Lot Types. Each standard is labeled by a letter (A, B, C, E, etc...example) which directly relates to the specific category provided on each building type. The categories are described as follows:

- (a) Lot requirements: Provisions for minimum and maximums; lot depth, lot size and the permitted lot coverage;
- (b) Building envelope: Provisions for the minimum and maximum setbacks permitted by front, side, and rear yards for Urban and Suburban development. There is a minimum and maximum setback for each lot type. The maximum and minimum frontage refers to the proportion of the lot width along which the primary building façade must be within the minimum and maximum front setback; and
- (c) Accessory Structure Envelope: provides the setbacks and maximum building footprints permitted for accessory structures. An accessory structure is a structure which is on the same parcel of property as a principal structure and the use of which is incidental to the use of the principal structure. For example a residential structure may have a detached garage or storage shed or a one unit residential mother-in-law suite.
- (d) Building height: Provisions for permitted heights in stories (st). The maximum height for first floor residential development shall be fourteen (14) feet and twenty (20) feet for non-residential. The maximum height for second story and higher shall not exceed twelve (12) feet. Each building lot typology provides the range of height appropriate for the building type. Height shall be measured from finished floor.

- (e) Parking provisions: The amount of parking shall be determined by Section xx of the Code of Ordinances and Sec. xx of this Chapter. Parking provisions provide zones where parking is permitted. The parking zone refers to any uncovered parking area located on the parcel. Driveways are permitted in any zone provided the frontage requirements have been met as required by building type. The diagram illustrates a Primary and Secondary street. Primary streets are streets that are addressed to the parcel of land. Secondary streets may or may not have access to the parcel. Zones are defined and illustrated by the lot area between the principal building frontage and:

Zone 1: the right-of-way of any primary street.

Zone 2: any common interior lot line.

Zone 3: any rear lot line.

Zone 4: the right-of-way of any secondary street.

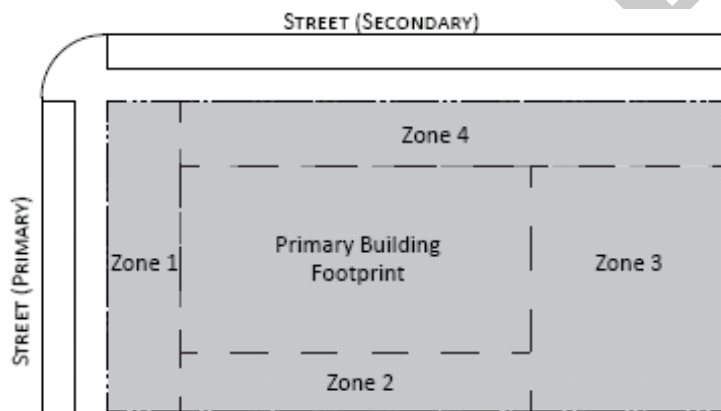


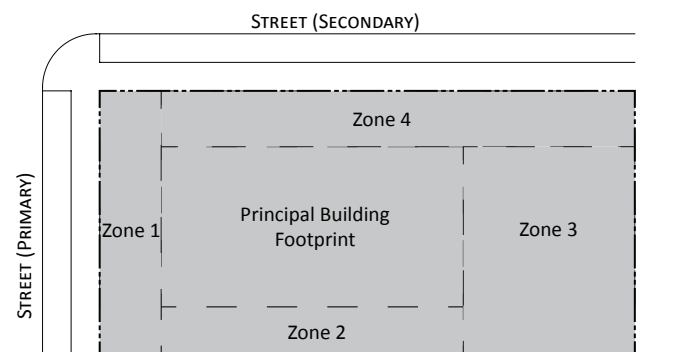
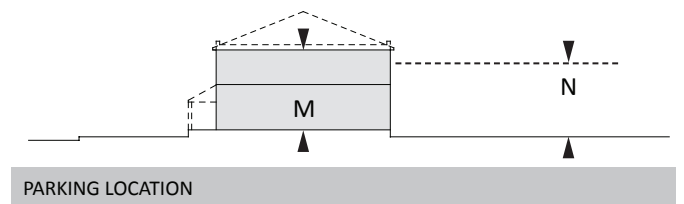
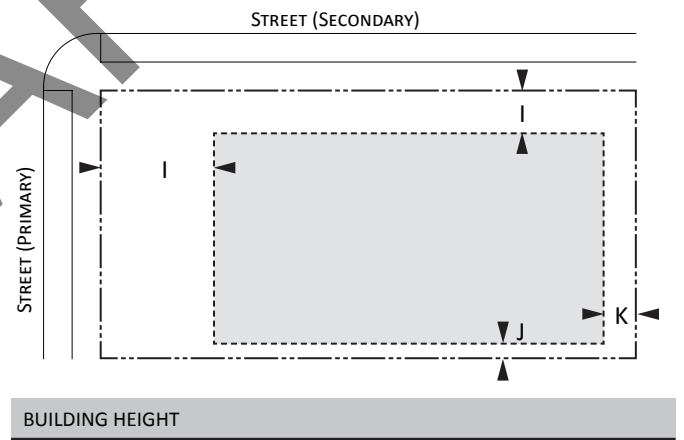
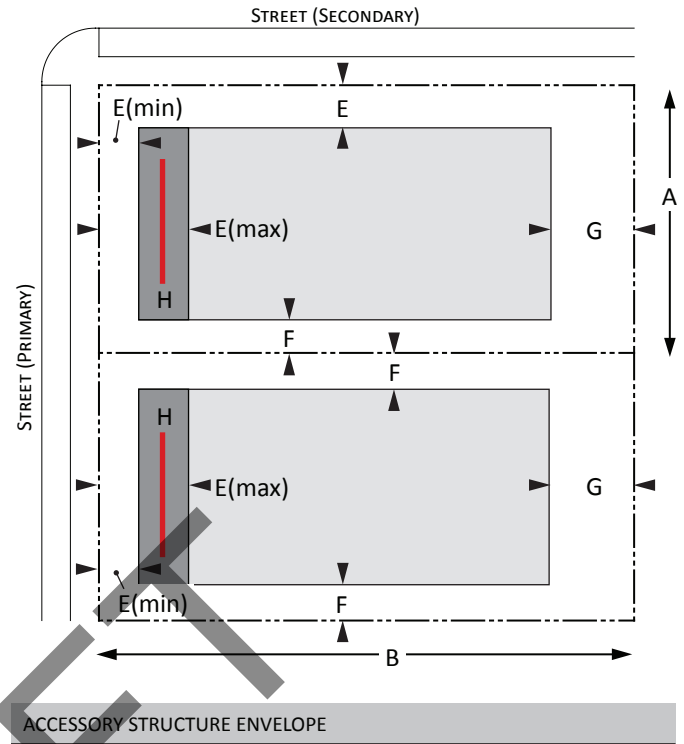
Figure 2, Parking Zone Area(s)

- (f) Private frontages, refers to the area that is attached or integrated into the primary building. The building types are either required or preferred. If there are multiple frontages provided in the table, the applicant may choose what private frontage to provide per building. The private frontage area may count towards the calculation of the frontage build out requirement under the "Building Envelope" category.

A building lot located and designed to accommodate a detached building with large side, rear and front yards.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	70	120
B - Lot Depth (ft)	120	--
C - Lot Size (sf)	10,000	21,780
D - Lot Coverage (%)	--	30
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	30	--
G - Rear Setback (ft)	30	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	10	--
J - Side Setback (ft)	25	--
K - Rear Setback (ft)	--	80
L - Building Footprint (sf)	--	800
BUILDING HEIGHT		
M - Principal Building (st)	1	2
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 1,2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	P, S, CY	

LOT REQUIREMENTS AND BUILDING ENVELOPE



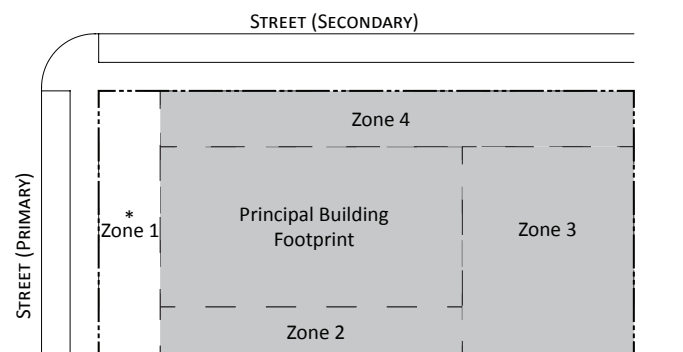
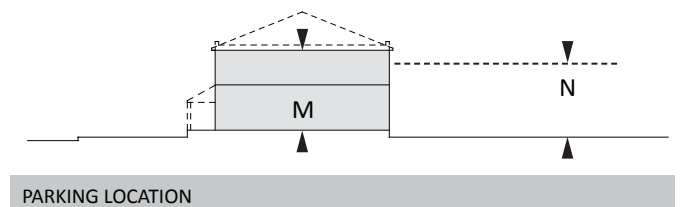
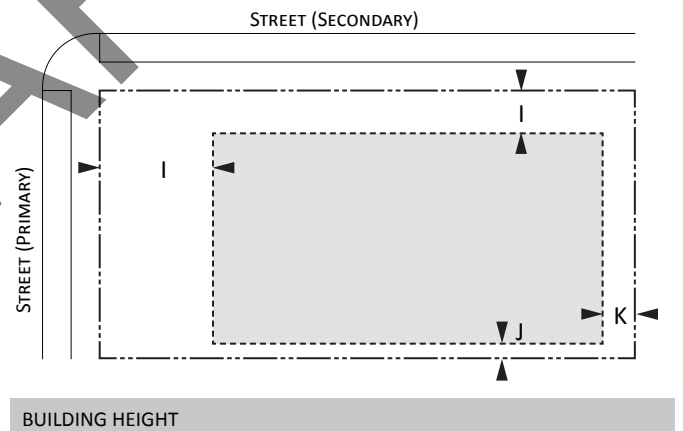
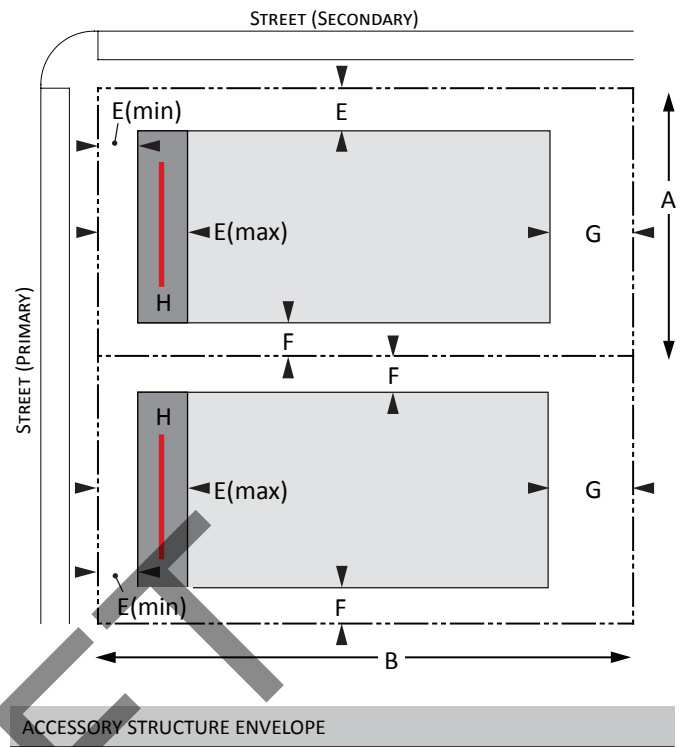
HS

HOUSE

A building lot located and designed to accommodate a detached building with small side yards and a large front yard.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	70
B - Lot Depth (ft)	100	120
C - Lot Size (sf)	4,000	8,400
D - Lot Coverage (%)	--	30
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	20	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	2
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	P, S, CY	

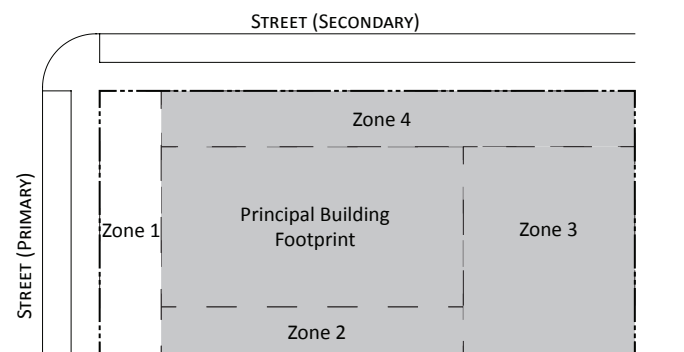
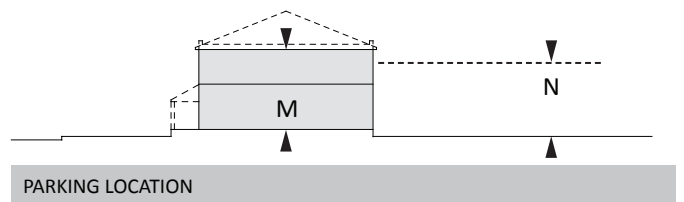
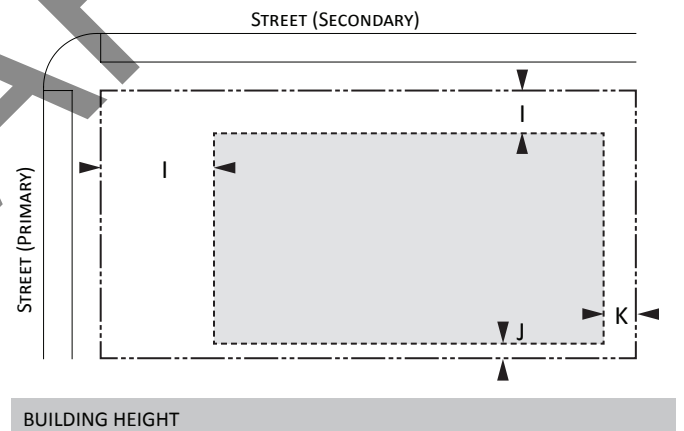
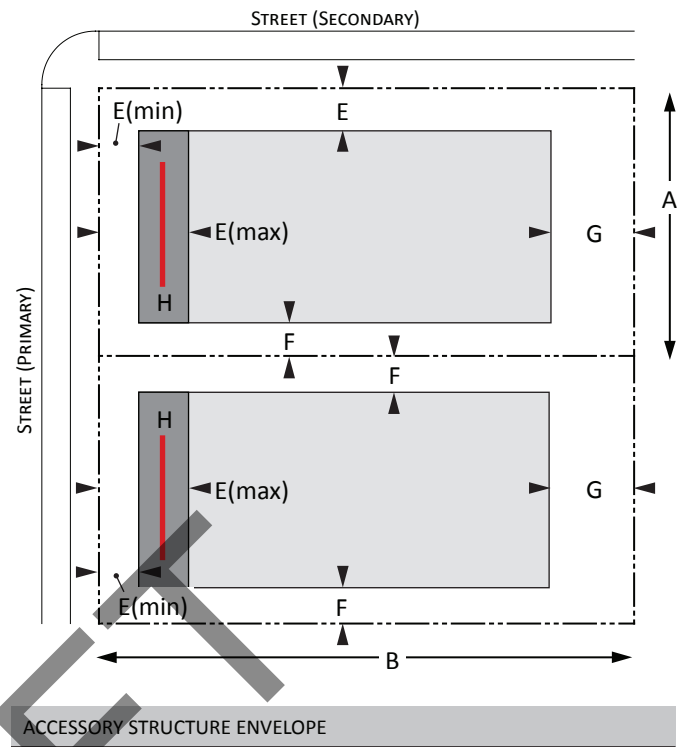
LOT REQUIREMENTS AND BUILDING ENVELOPE



A building lot located and designed to accommodate a small detached building with small side and front yards.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	25	40
B - Lot Depth (ft)	100	120
C - Lot Size (sf)	3,000	4,800
D - Lot Coverage (%)	--	50
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	3	--
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	2
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 3	
PRIVATE FRONTAGES		
Required Frontages	P, S, CY	

LOT REQUIREMENTS AND BUILDING ENVELOPE



TH

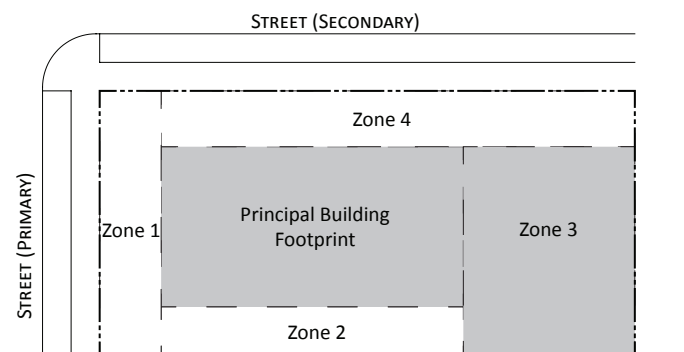
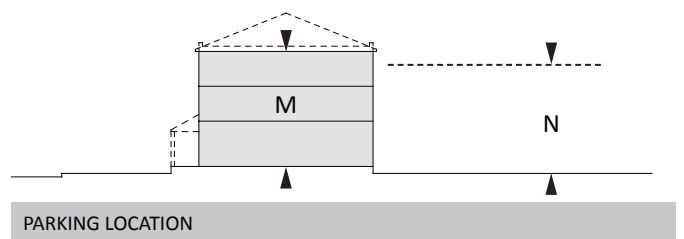
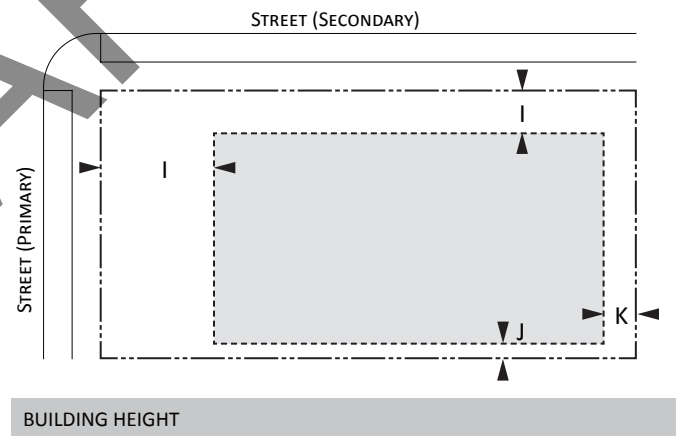
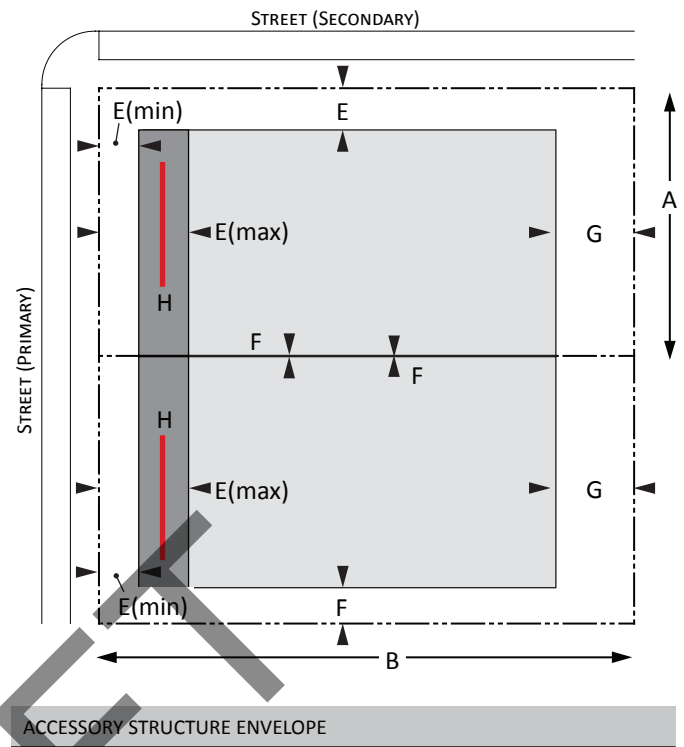
TOWNHOUSE

A building lot located and designed to accommodate a building with sidewalls (attached) on both side building lot lines and a private garden to the rear.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	16	28
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	1,600	3,000
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	0 *	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	3
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 3	
PRIVATE FRONTAGES		
Required Frontages	P, S	

* 10' Separation required from adjacent detached building

LOT REQUIREMENTS AND BUILDING ENVELOPE



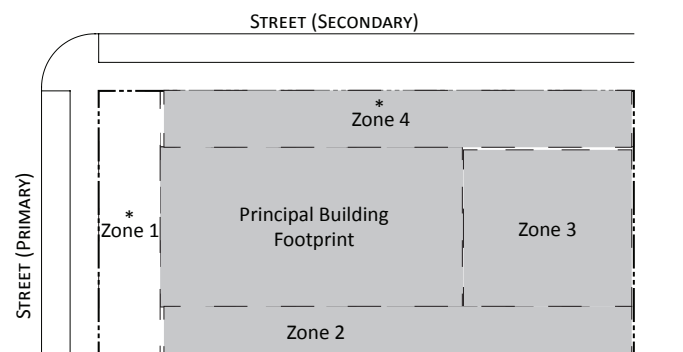
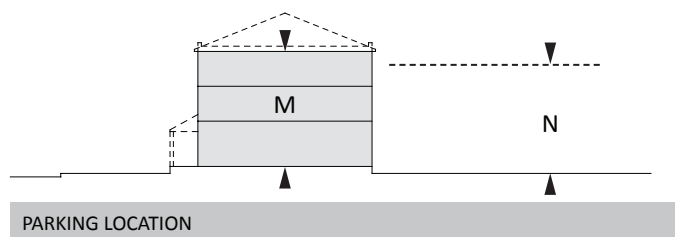
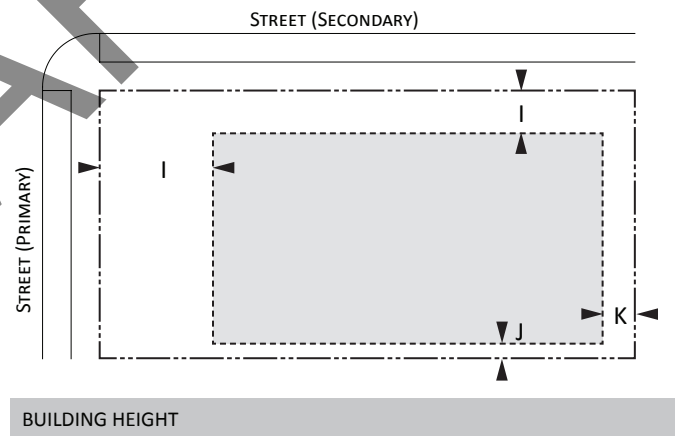
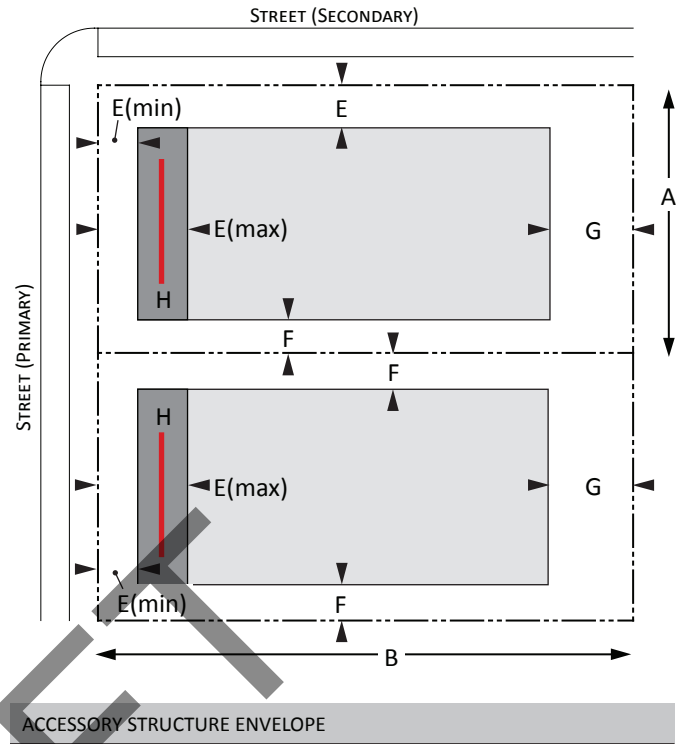
AH

APARTMENT HOUSE

A building lot located and designed to accommodate a detached building which resembles a large house but which contains multiple dwellings above and beside each other.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	70
B - Lot Depth (ft)	100	120
C - Lot Size (sf)	4,000	8,400
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	20	--
H - Frontage Buildout (%)	60	80
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	3
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2, 3 and 4	
PRIVATE FRONTAGES		
Required Frontages	P, S, CY	

LOT REQUIREMENTS AND BUILDING ENVELOPE



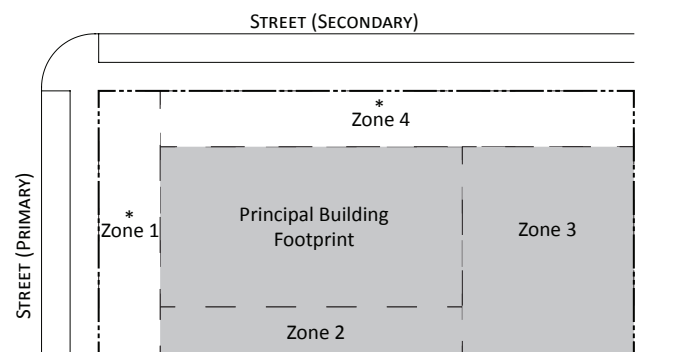
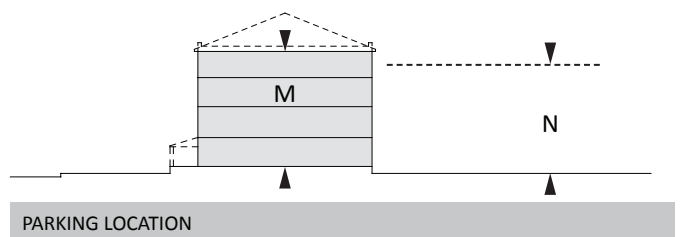
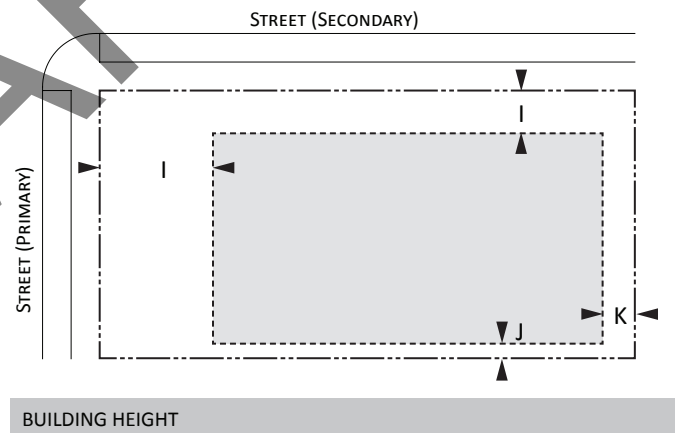
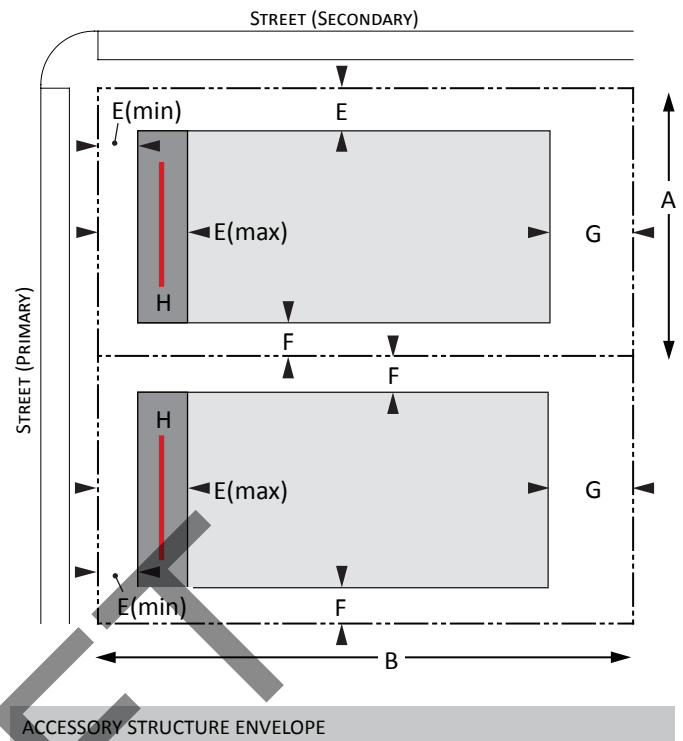
AB

APARTMENT
BUILDING

A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	150
B - Lot Depth (ft)	100	350
C - Lot Size (sf)	4,000	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES		
Required Frontages	P, F, S	

LOT REQUIREMENTS AND BUILDING ENVELOPE



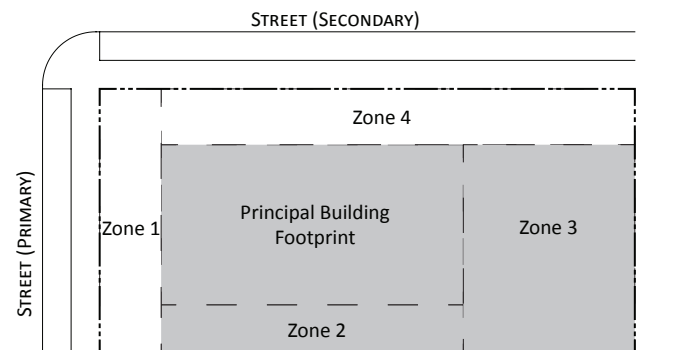
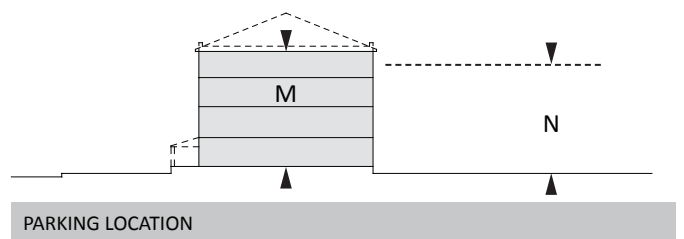
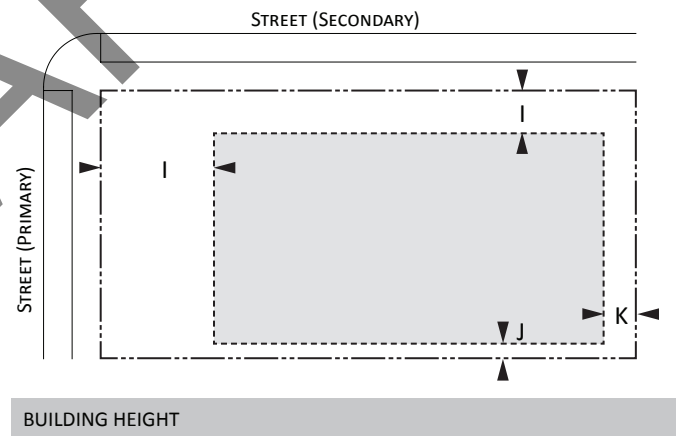
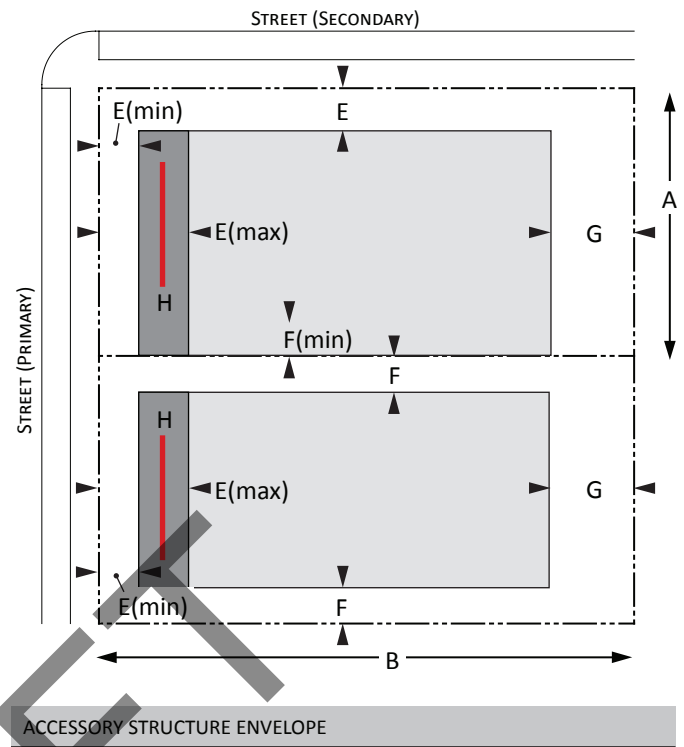
CA

COURTYARD APARTMENT

A building lot located and designed to accommodate multiple dwellings arranged around and fronting on a central garden or courtyard that may be partially or wholly open to the street.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	80	120
B - Lot Depth (ft)	80	180
C - Lot Size (sf)	9,000	20,000
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	0 *	10
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES		
Required Frontages	P, F, S	

LOT REQUIREMENTS AND BUILDING ENVELOPE



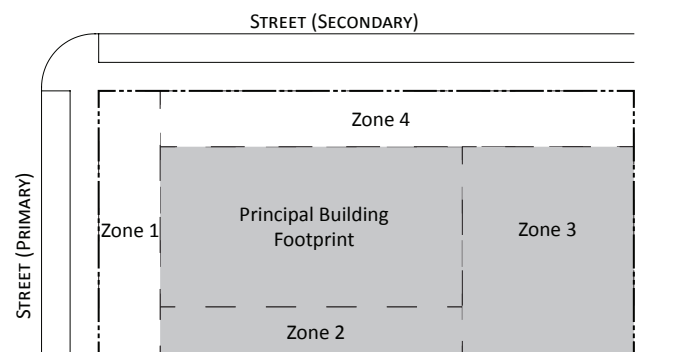
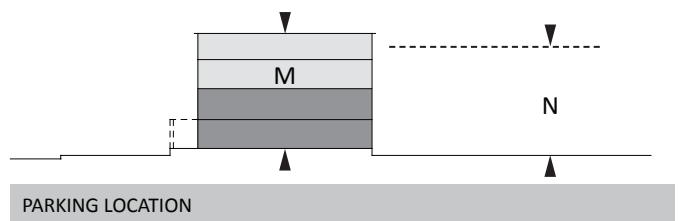
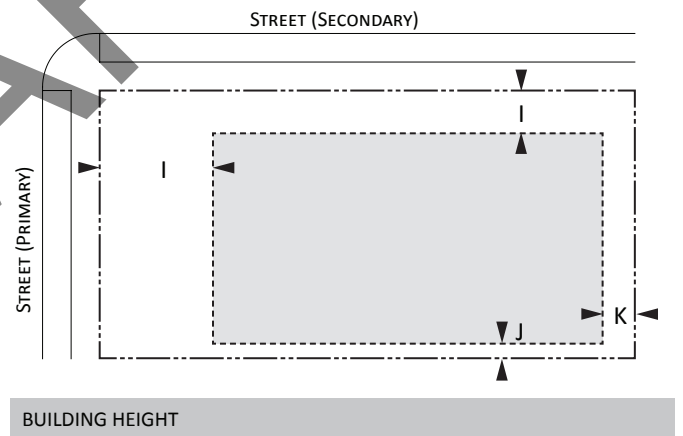
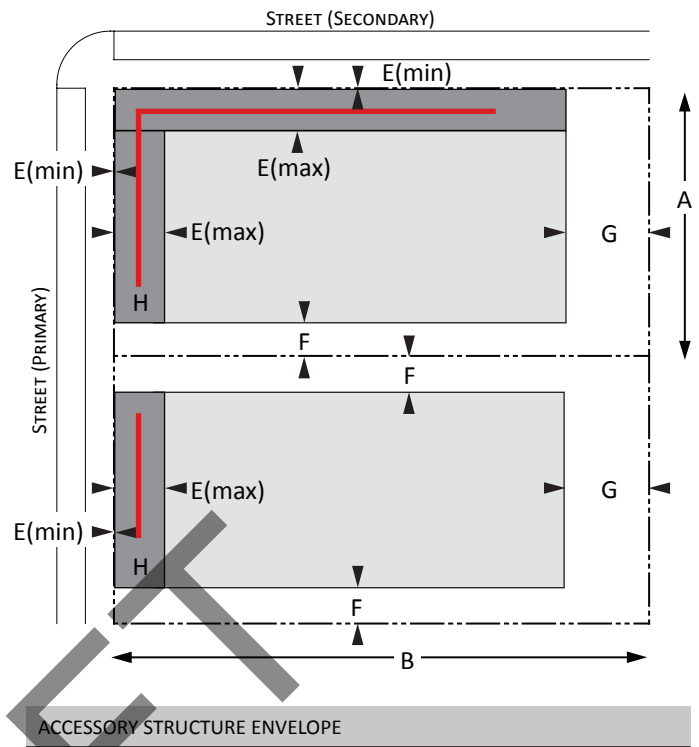
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COMMERCIAL/ MIXED-USE - SMALL

A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for smaller lot sizes.

LOT REQUIREMENTS		MIN	MAX
A - Lot Width (ft)		16	60
B - Lot Depth (ft)		80	120
C - Lot Size (sf)		1,800	7,200
D - Lot Coverage (%)		--	90
BUILDING ENVELOPE		MIN	MAX
E - Street Setback (ft)		Refer to Regulating Plan	
F - Side Setback (ft)		0	--
G - Rear Setback (ft)		5	--
H - Frontage Buildout (%)		Refer to Regulating Plan	
ACC STR ENVELOPE		MIN	MAX
I - Street Setback (ft)		30	
J - Side Setback (ft)		10	--
K - Rear Setback (ft)		10	--
L - Building Footprint (sf)		--	800
BUILDING HEIGHT		MIN	MAX
M - Principal Building (st)		2	4
N - Accessory Structure(s) (ft)		--	30
PARKING PROVISIONS			
Location		Zone 2 and 3	
PRIVATE FRONTAGES			
Required Frontages		C	

LOT REQUIREMENTS AND BUILDING ENVELOPE

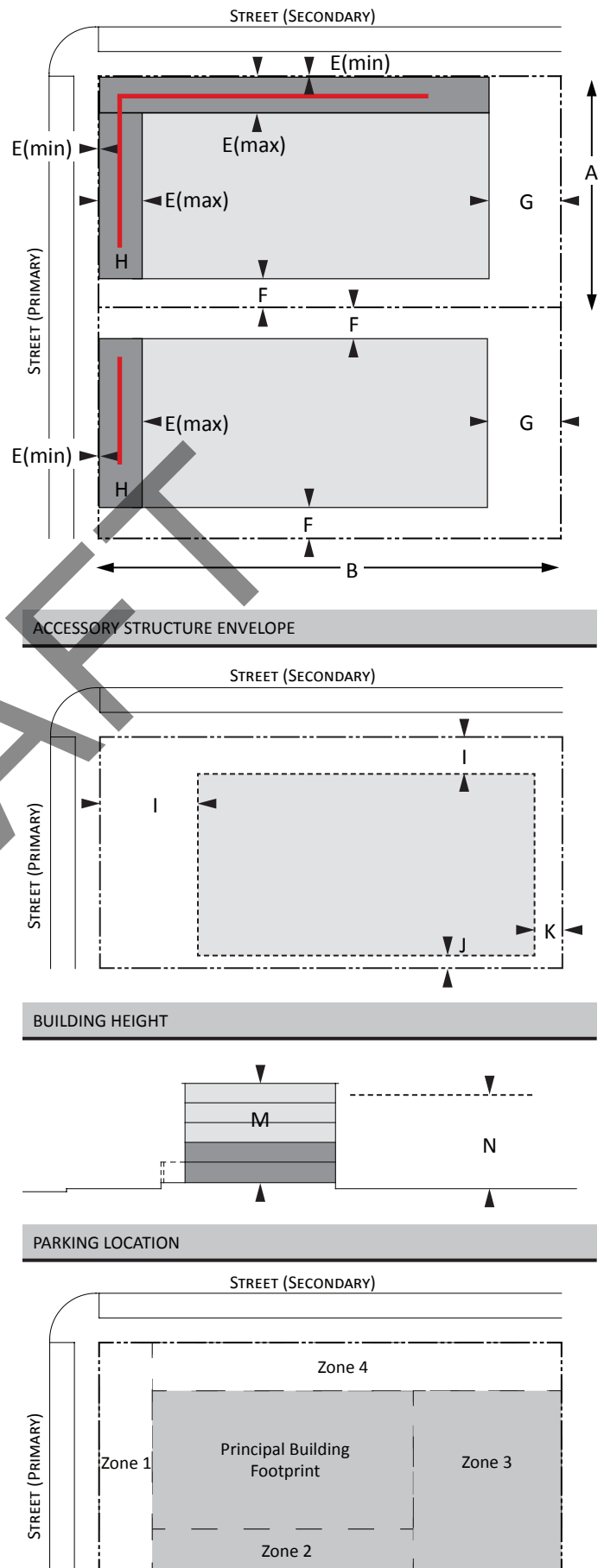


COMMERCIAL/ MIXED-USE - MEDIUM

A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for average lot sizes.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	150
B - Lot Depth (ft)	--	350
C - Lot Size (sf)	--	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	2	5
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES		
Required Frontages	C	

LOT REQUIREMENTS AND BUILDING ENVELOPE



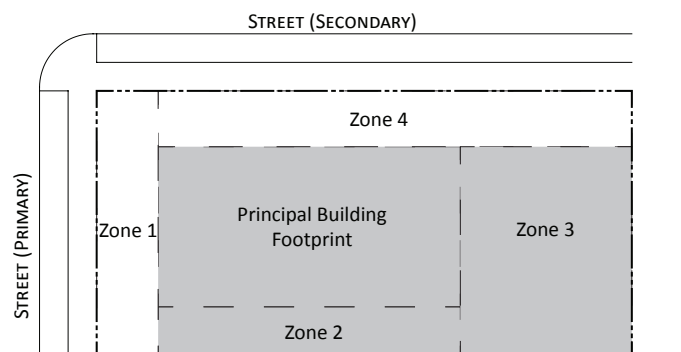
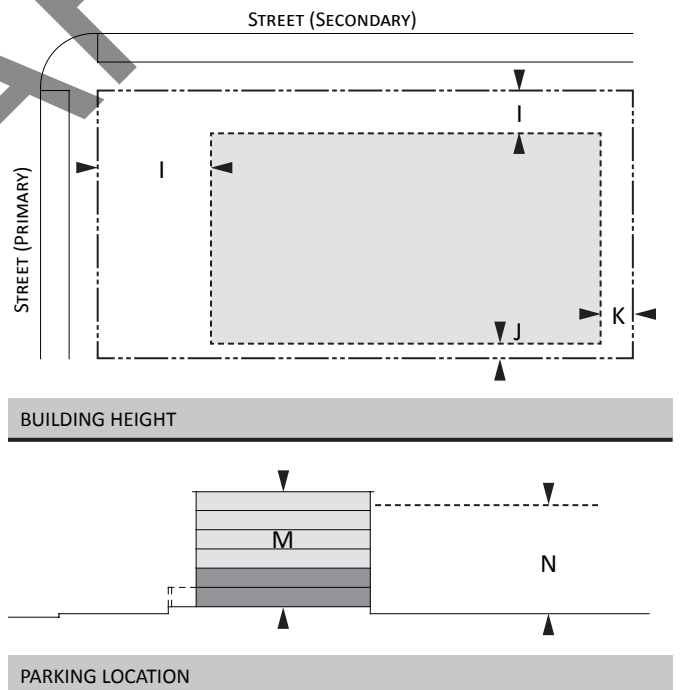
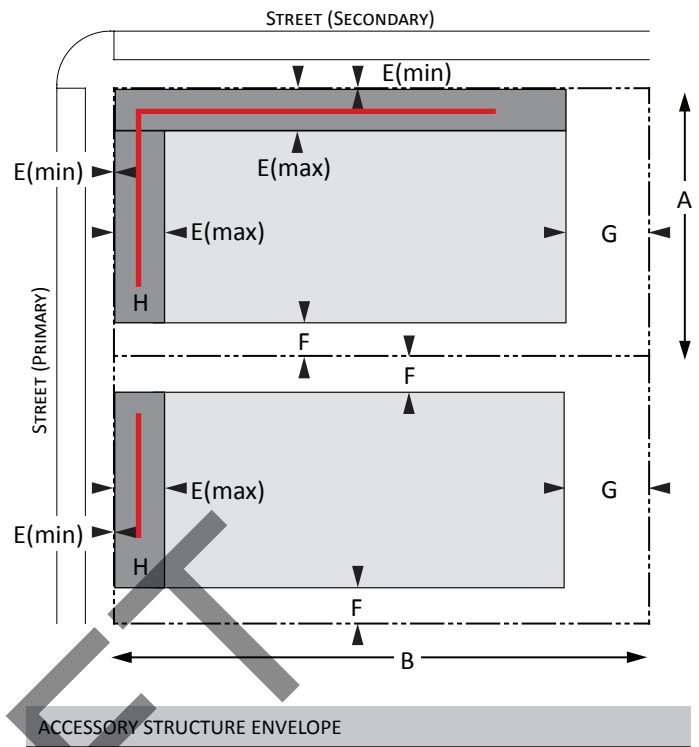
CL

COMMERCIAL/ MIXED-USE - LARGE

A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for larger lot sizes.

LOT REQUIREMENTS		MIN	MAX
A - Lot Width (ft)		120	350
B - Lot Depth (ft)		--	Per block standards
C - Lot Size (sf)		--	--
D - Lot Coverage (%)		--	90
BUILDING ENVELOPE		MIN	MAX
E - Street Setback (ft)		Refer to Regulating Plan	
F - Side Setback (ft)		0	--
G - Rear Setback (ft)		10	--
H - Frontage Buildout (%)		Refer to Regulating Plan	
ACC STR ENVELOPE		MIN	MAX
I - Street Setback (ft)		30	--
J - Side Setback (ft)		10	--
K - Rear Setback (ft)		10	--
L - Building Footprint (sf)		--	800
BUILDING HEIGHT		MIN	MAX
M - Principal Building (st)		2	6
N - Accessory Structure(s) (ft)		--	30
PARKING PROVISIONS		Zone 2 and 3	
Location		Zone 2 and 3	
PRIVATE FRONTAGES		C	
Required Frontages		C	

LOT REQUIREMENTS AND BUILDING ENVELOPE



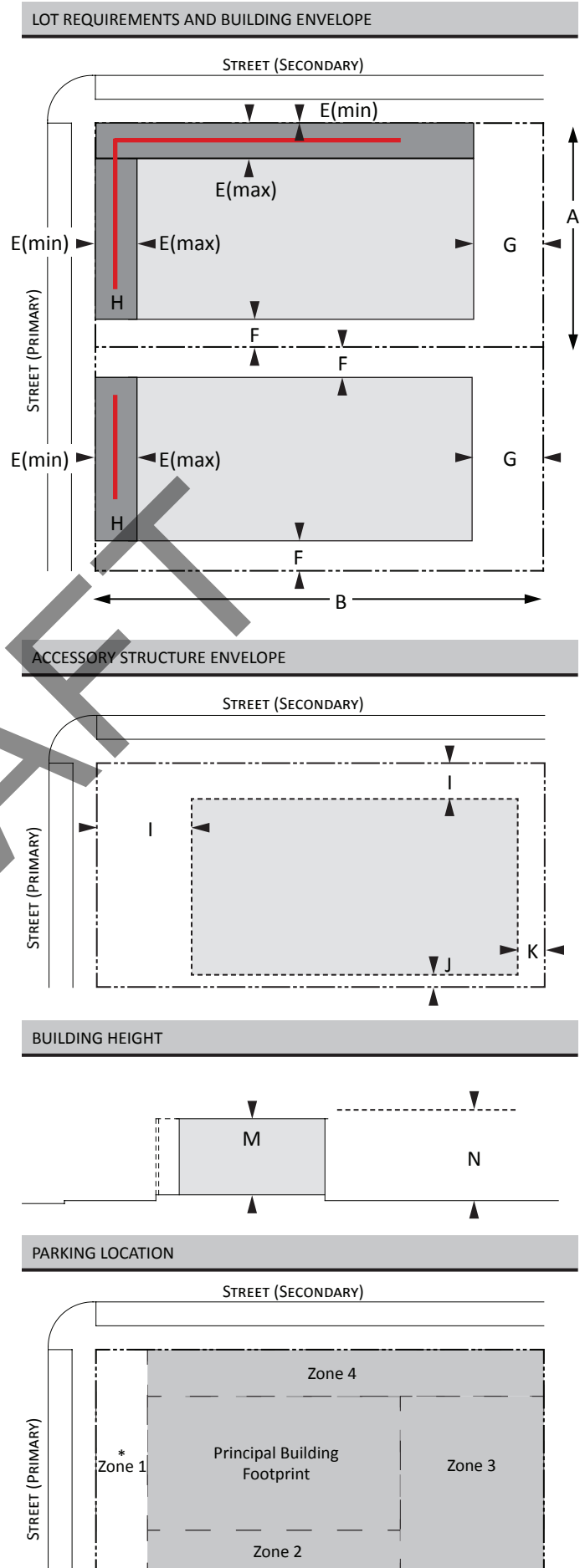
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SS

SINGLE STORY COMMERCIAL BUILDING-SMALL

A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	20	100
B - Lot Depth (ft)	80	350
C - Lot Size (sf)	4,000	35,000
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	1
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	C, G, A	



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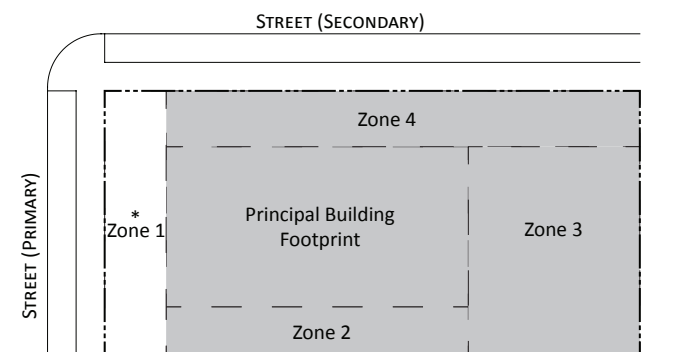
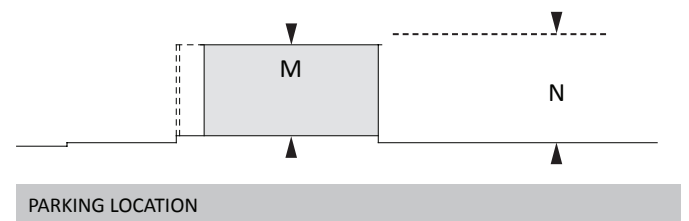
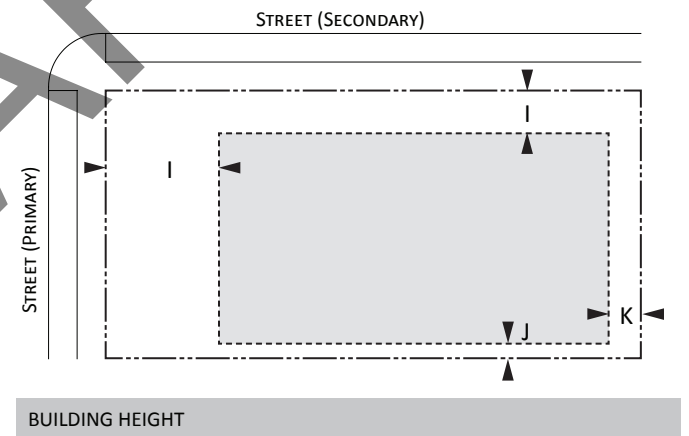
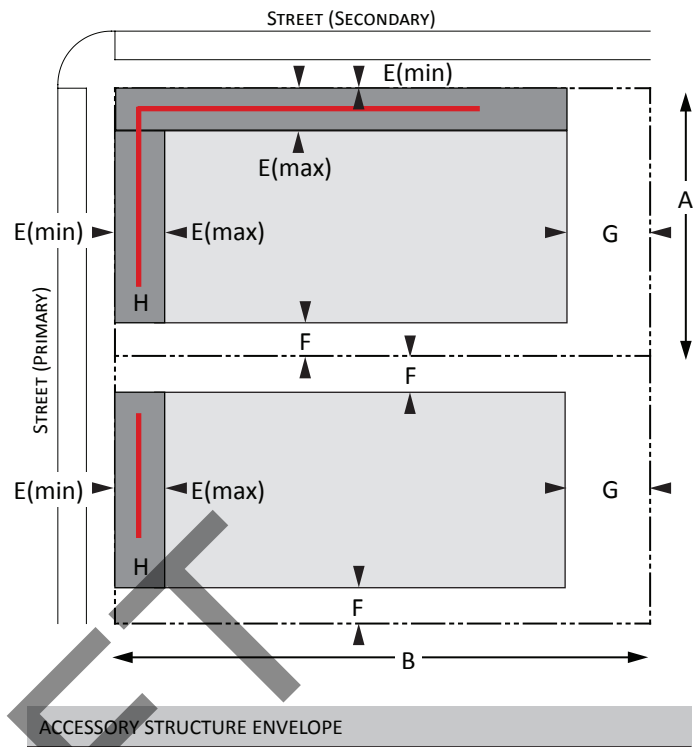
SM

SINGLE STORY COMMERCIAL BUILDING-MEDIUM

A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	20	100
B - Lot Depth (ft)	80	350
C - Lot Size (sf)	4,000	35,000
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	1
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	C, G, A	

LOT REQUIREMENTS AND BUILDING ENVELOPE



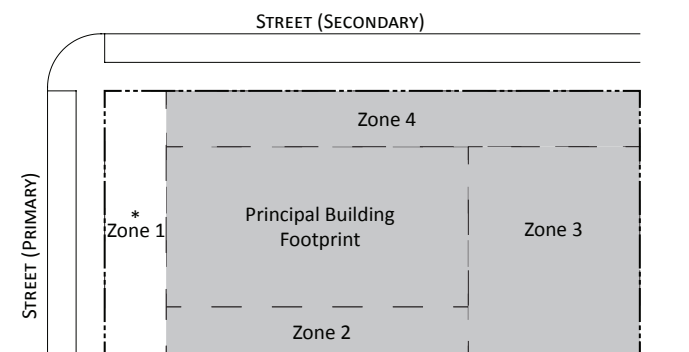
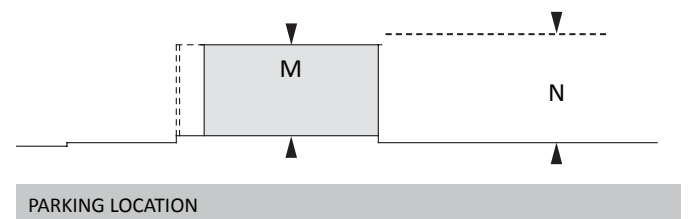
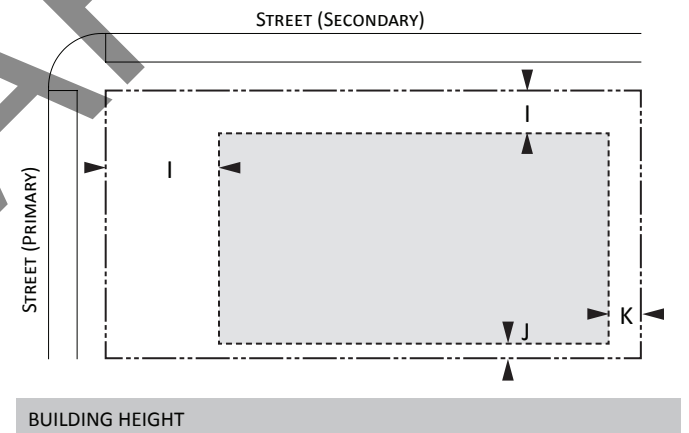
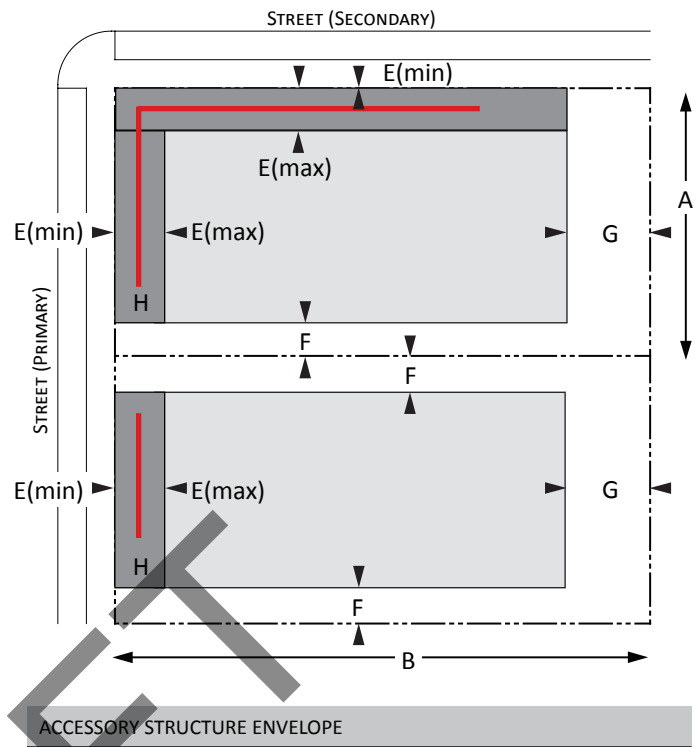
LF

LARGE FOOTPRINT SINGLE STORY COMMERCIAL BUILDING

A building lot located and designed to accommodate a large footprint building with one or more uses.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	300	--
B - Lot Depth (ft)	300	--
C - Lot Size (sf)	90,000	--
D - Lot Coverage (%)	60	--
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	10	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	1
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	C	

LOT REQUIREMENTS AND BUILDING ENVELOPE



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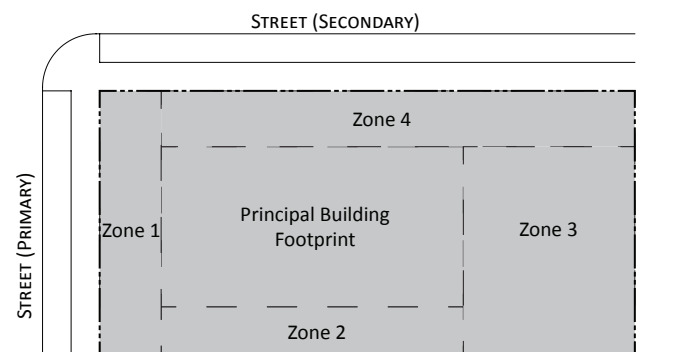
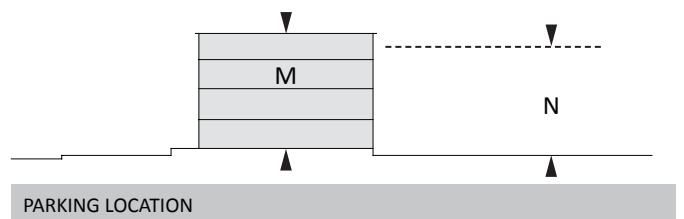
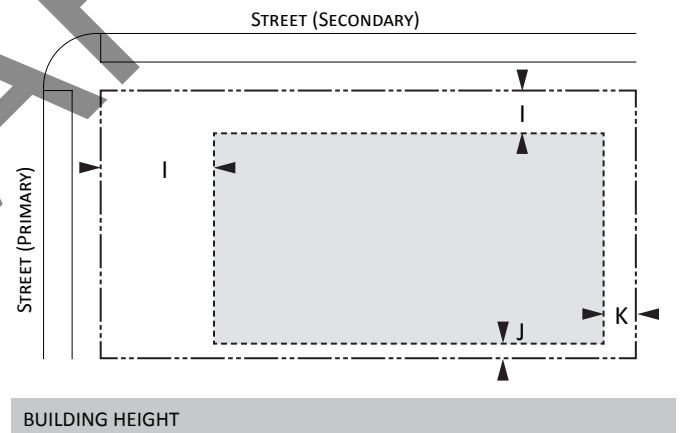
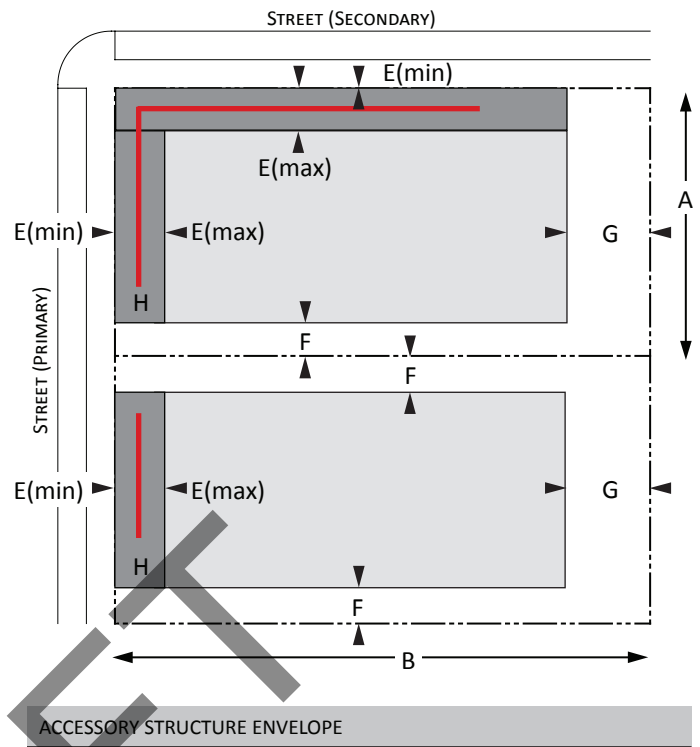
IB

INDUSTRIAL
BUILDING

A building lot located and designed to accommodate industrial uses.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	--	350
B - Lot Depth (ft)	--	(per block standards)
C - Lot Size (sf)	--	--
D - Lot Coverage (%)	--	50
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	25	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 1,2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	no requirement	

LOT REQUIREMENTS AND BUILDING ENVELOPE



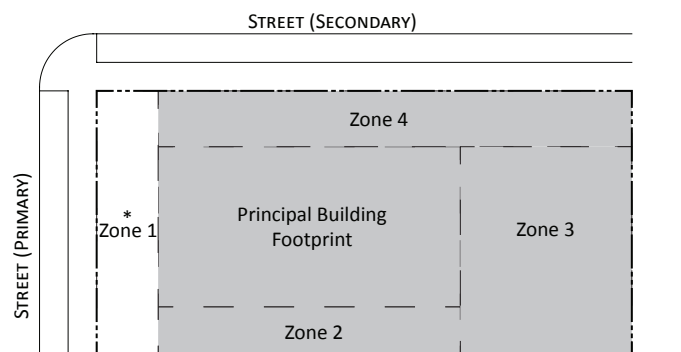
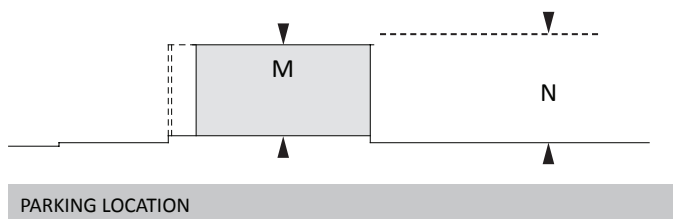
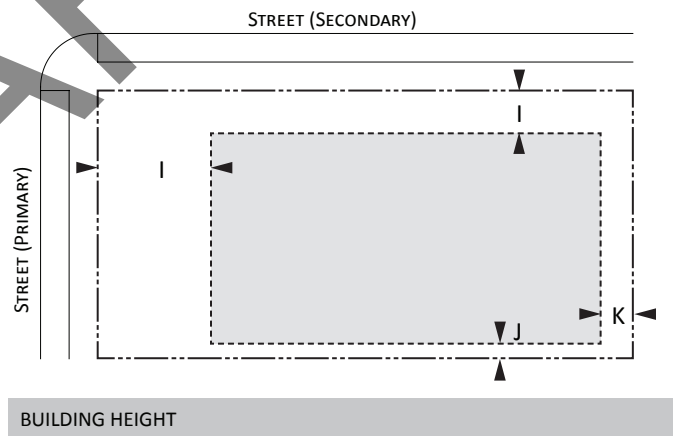
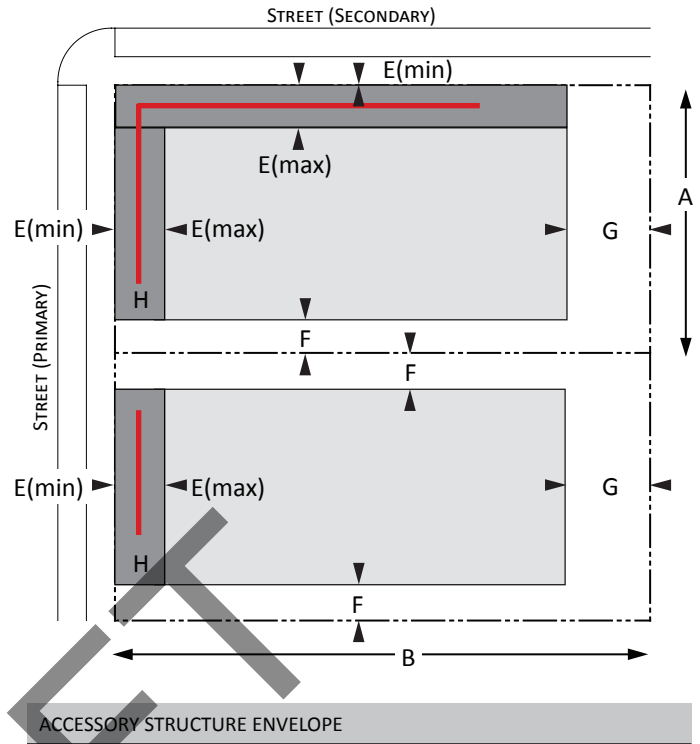
IT

INSTITUTIONAL

A building lot located and designed to accommodate institutional users such as hospitals, churches, and schools.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	--	--
B - Lot Depth (ft)	--	--
C - Lot Size (sf)	--	--
D - Lot Coverage (%)	--	91
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	5
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	no requirement	

LOT REQUIREMENTS AND BUILDING ENVELOPE



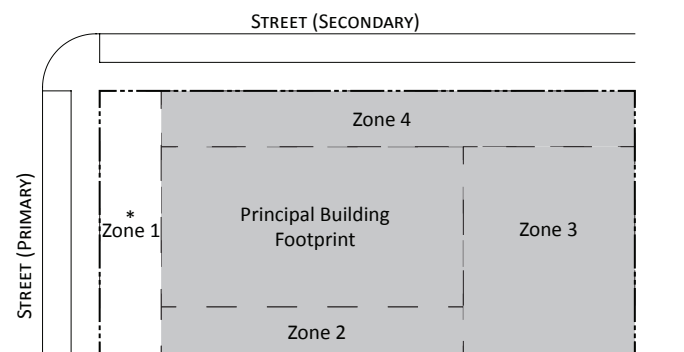
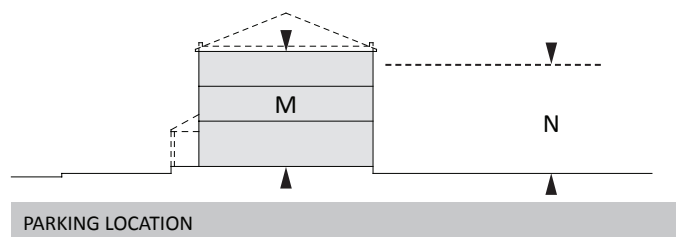
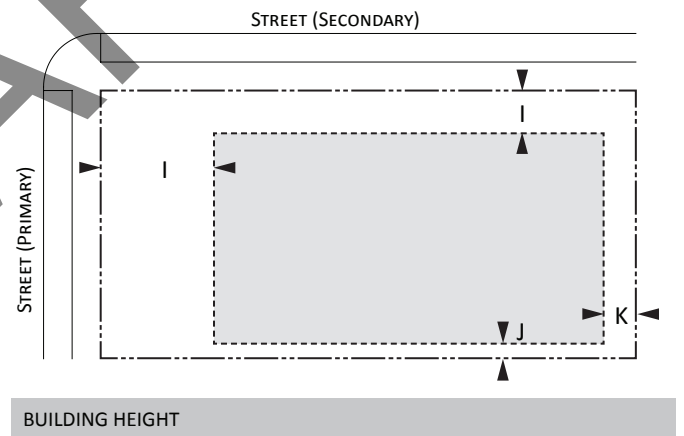
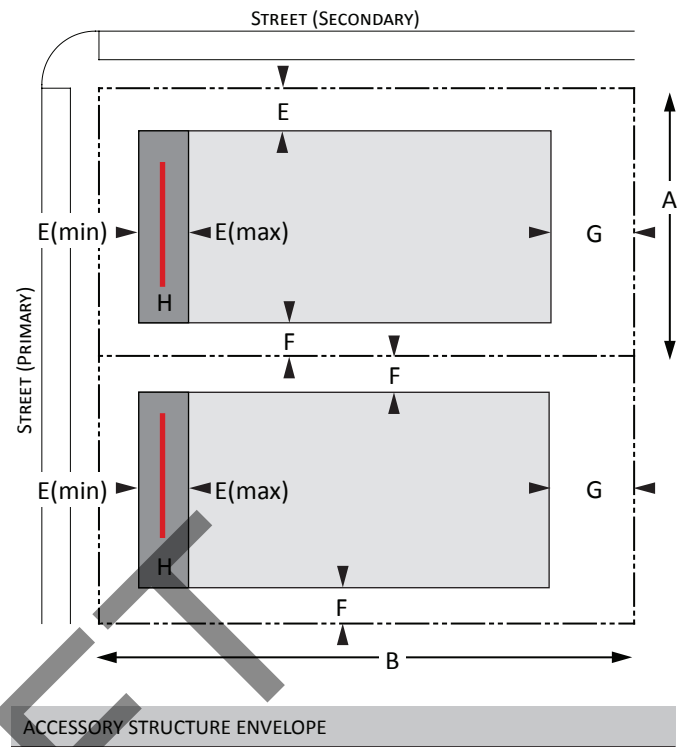
CV

CIVIC BUILDING

A building lot located and designed to accommodate a building containing public or civic uses such as community services, day care, education, government, places of worship, or social services.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	--	--
B - Lot Depth (ft)	--	--
C - Lot Size (sf)	--	--
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	1	4
N - Accessory Structure(s) (ft)	--	30
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES		
Required Frontages	no requirement	

LOT REQUIREMENTS AND BUILDING ENVELOPE



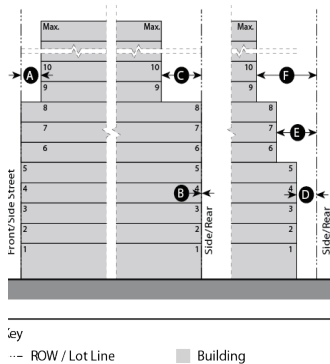
MR

MID-RISE *

A building lot located and designed to accommodate a vertical mix of uses and provides a parking garage that is located internal to the building or at the rear of the building. This lot type is typically found in downtown areas.

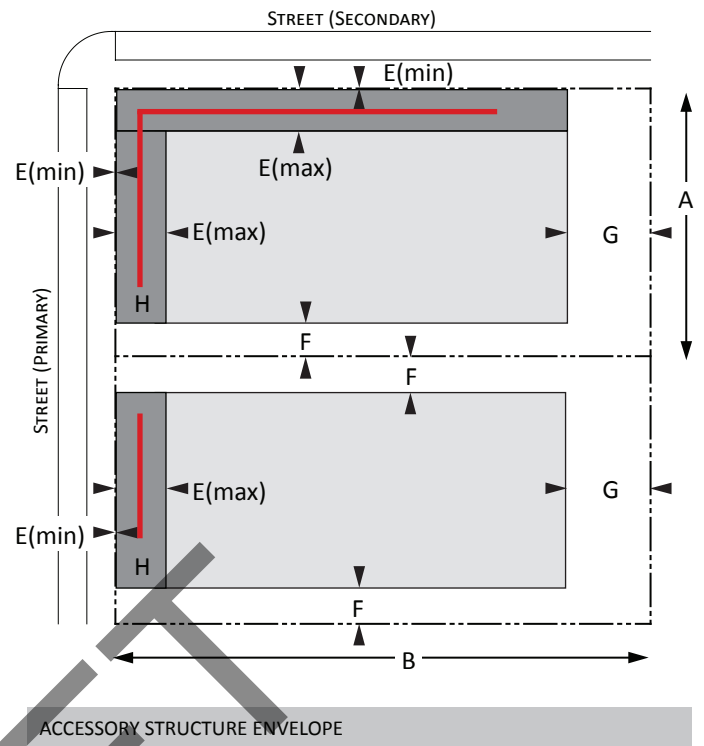
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	120	300
B - Lot Depth (ft)	120	(per block standards)
C - Lot Size (sf)	21,780	--
D - Lot Coverage (%)	--	25
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	Refer to Regulating Plan	
F - Side Setback (ft)	25	--
G - Rear Setback (ft)	40	--
H - Frontage Buildout (%)	Refer to Regulating Plan	
ACC STR ENVELOPE	MIN	MAX
I - Street Setback (ft)	N/A	--
J - Side Setback (ft)	N/A	--
K - Rear Setback (ft)	N/A	--
L - Building Footprint (sf)	--	--
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	2	8*
N - Accessory Structure(s) (ft)	--	--
PARKING PROVISIONS		
Location	Internal to Building	
PRIVATE FRONTAGES		
Required Frontages	C	

* height shall be approved by City Council if proposal is greater than 6 stories

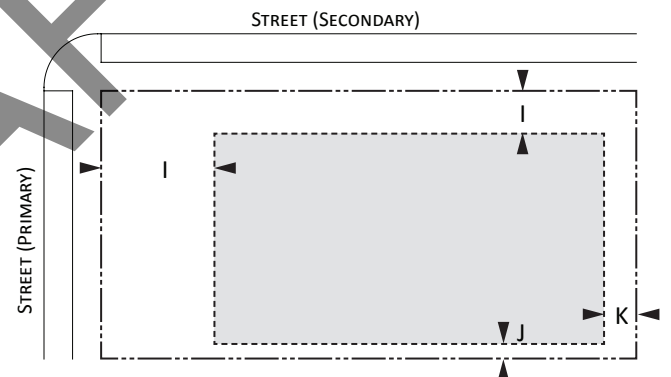


A. High-Rise/Mid-Rise Buildings		
Front/Side Street Setback		
Floors 9+	10' min.	A
Side/Rear Setback		
Abutting Core		
Floors 1-8	0' min.	B
Floors 9+	30' min.	C
Abutting General		
Floors 1-5	0' min.	D
Floors 6-8	10' min.	E
Floors 9+	30' min.	F
Abutting General or any SFR area(s)		
Floors 1-5	10' min.	G
Floors 6-8	20' min.	H
Floors 9+	30' min.	I

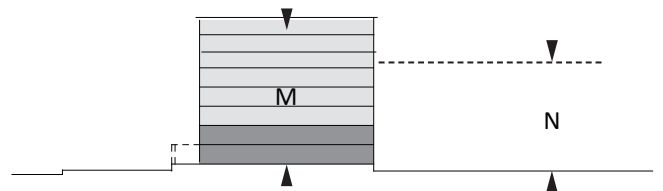
LOT REQUIREMENTS AND BUILDING ENVELOPE



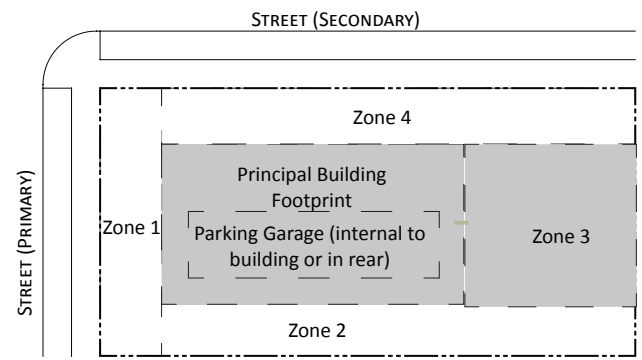
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT (Additional Height standards located bottom left)



PARKING LOCATION

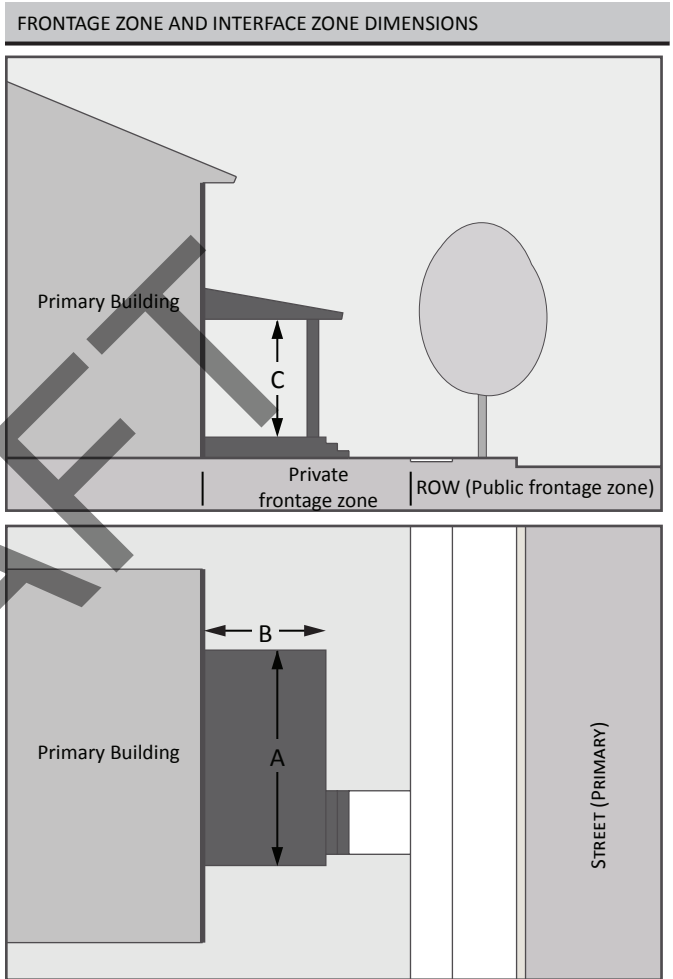


P

PORCH

The façade is set back from the front lot line per applicable street setback requirements. The façade includes an attached front porch structure. A wide variety of porch designs are possible.

FRONTAGE ZONE (FZ)	MIN	MAX
Porch structure requirements:		
A - Width (clear) (ft)	10	--
B - Depth (clear) (ft)	5	--
C - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)		

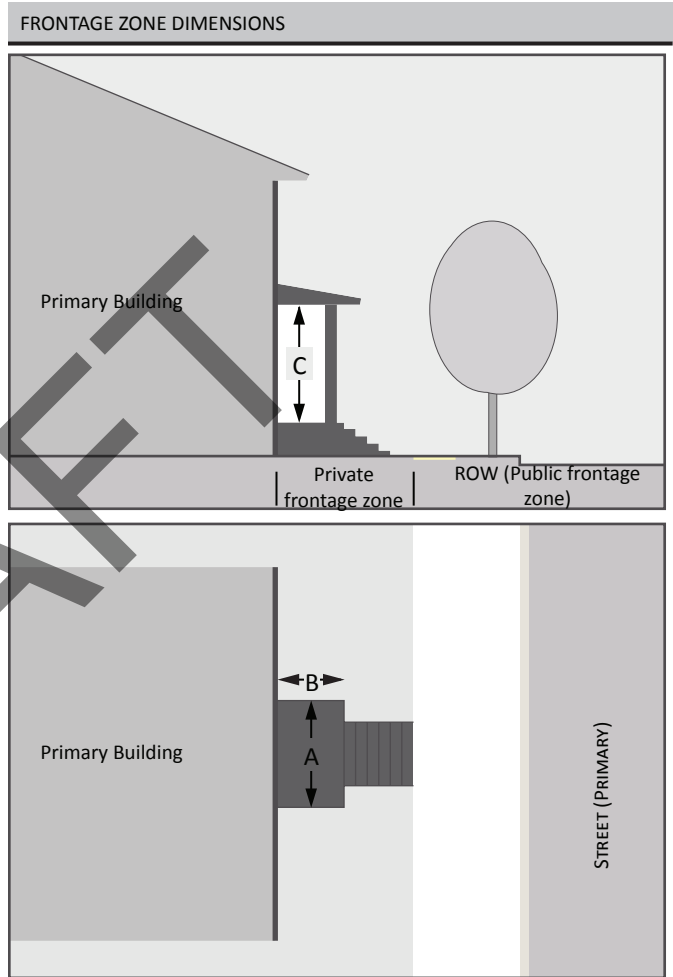


S

STOOP

The façade is set back from the front lot line per applicable street setback requirements. The façade includes an attach entry stoop (an elevated landing with stairs) that is placed at or near the front lot line. The ground floor is elevated to provide privacy. The stoop may include a roof.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Width (clear) (ft)	5	10
B - Depth (clear) (ft)	3	8
C - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)		
Landscape with path (3' wide min) from sidewalk to structure		



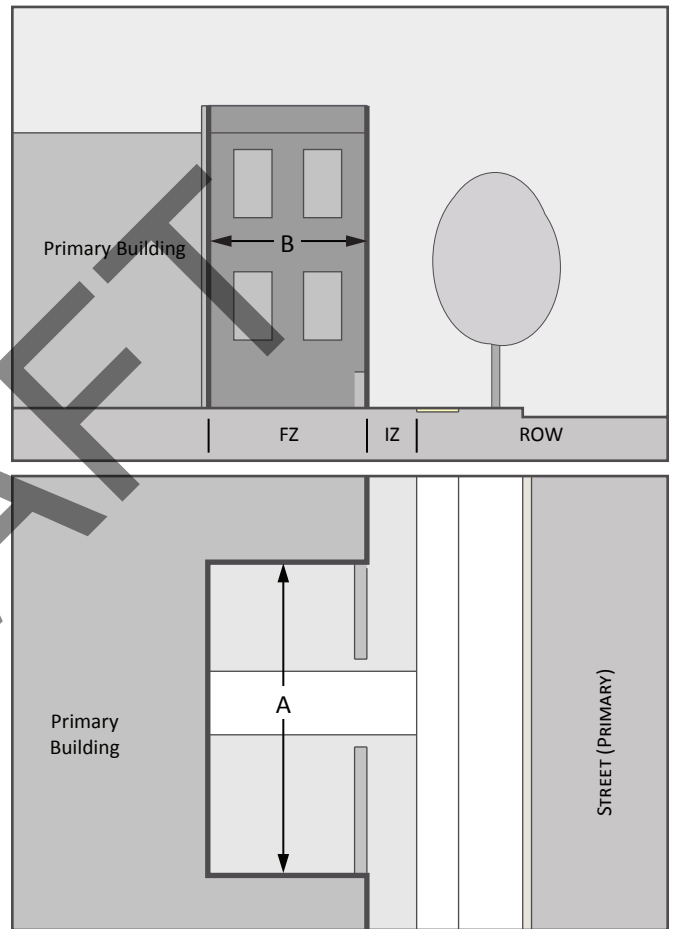
F

FORECOURT

The façade is set back from the front lot line per applicable street setback requirements. A portion of the façade is recessed to form an uncovered court. The court is suitable for outdoor dining, gardens, vehicle drop-offs, formal entries etc.. A fence or wall may be used to define the private space of the court. The court may be elevated behind a retaining wall at or near the front lot line with entry steps to the court.

FRONTAGE ZONE (FZ)	MIN	MAX
Courtyard requirements:		
A - Width (clear) (ft)	12	--
B - Depth (clear) (ft)	12	50
INTERFACE ZONE (IZ)		
Landscape with path (6' wide min) from sidewalk to structure		
OTHER REQUIREMENTS		

FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS

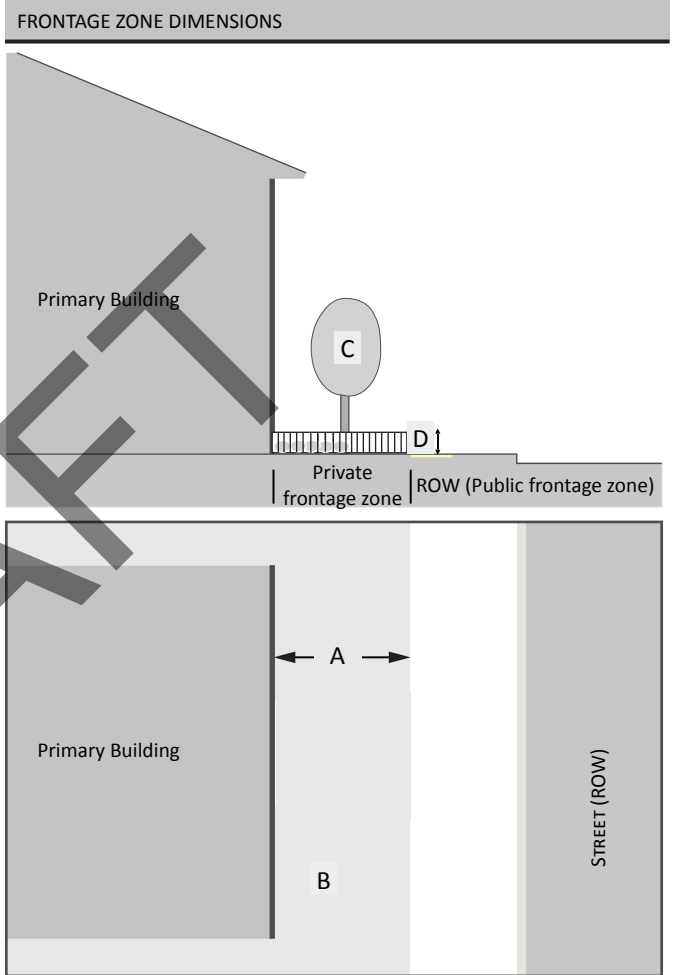


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COMMON YARD

The façade is set back from the front lot line per applicable street setback requirements. The common yard may include a two to four foot in height decorative fence that can be picket style or wrought iron material and must be transparent. The frontyard is required to have a minimum of 1 canopy tree, shrubs, and ground cover.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Landscape	grass and or ground cover	
B - Shrubs, ground cover	10 (3 gallon)	--
C - Tree (canopy tree)	1	--
D- Fence Height (feet)	2'	4'



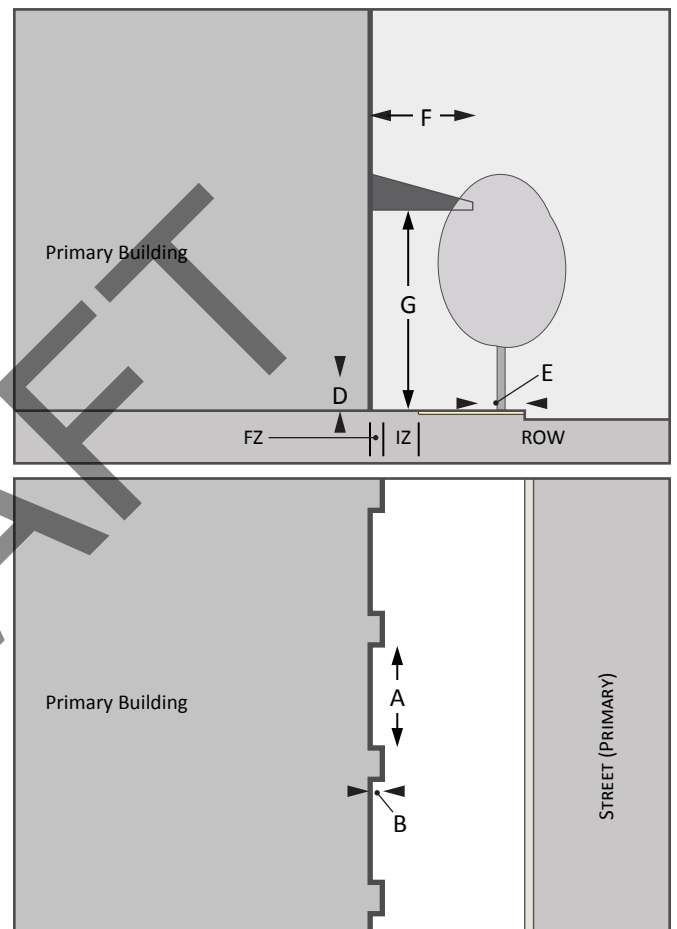
C

COMMERCIAL

The façade is set back from the front lot line per applicable street setback requirements, typically at or near the front lot line with the entrance at sidewalk grade. The façade may include an awning, shed roof, or gallery (a lightweight colonnade with no habitable building space above it) that covers the sidewalk and may extend into the right-of-way. The facade has a substantial amount of glazing at the sidewalk level. Recessed entrances are acceptable.

FRONTAGE ZONE (FZ)	MIN	MAX
Building facade requirements:		
A - Distance between openings (ft)	--	2
B - Door recess (ft)	--	5
C - Ground floor transparency (%)	60	--
D - Height to bottom of window (ft)	--	2.5
INTERFACE ZONE (IZ)		
Extended sidewalk from right-of-way edge to structure		
OPTIONAL ELEMENTS		
AWNING or GALLERY		
E - Setback from curb (ft)	2	--
F - Depth (clear) (ft) *(Gallery min 8')	4	10
G - Height (clear) (ft)	8	--
OTHER REQUIREMENTS		

FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS



Sec. XX.06 Landscape Requirements

(a) Furnishing Zones and Landscape Standards

When an applicant has added additional streets or the City requires improvements to the "Public Frontage" Zone which includes: Furnishing zones, pedestrian zones and a shy zone. Landscape in DC or ND shall provide, at a minimum the following standards, by sub-district: Downtown Core: A minimum ten (10) foot wide landscape area, North Downtown: A minimum six (6) foot wide landscape area that includes:

1. Furnishing Zone that is a minimum of six feet in depth and may include street lights, benches and canopy trees. A furnishing zone shall include one of the following: Tree Grate Standards. One canopy tree per 30 feet in lineal building shall be provided the entire length of the parcel the building is fronting.
2. Planter Beds. A minimum width of 6 feet with a maximum length of 25 feet that contains 1 canopy tree per bed and 100 percent ground cover.
3. Pedestrian Zone, 8-10 feet of unobstructed sidewalk
4. Shy zone, comprised of 12 inches to 2 feet that includes the area from the edge of the building to the edge of the pedestrian zone.



Figure 1, Tree Grate Option

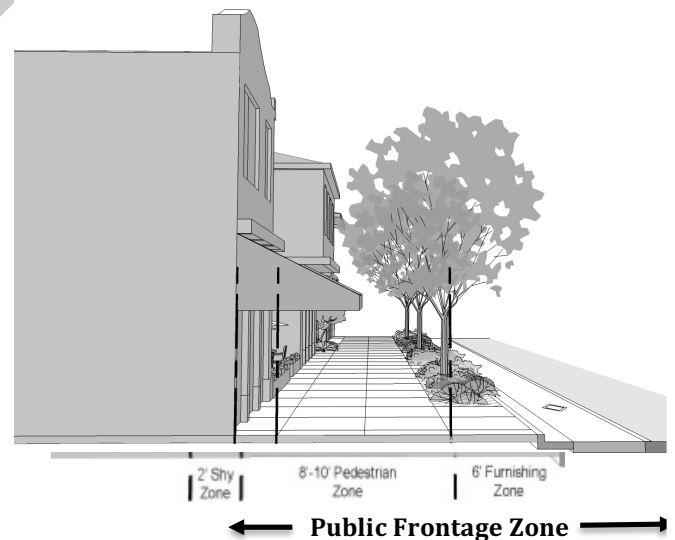


Figure 3, Planter Bed Option

(a) Landscape in the Front Setback for the North Downtown District.

Any building utilizing a setback of thirty (30) feet or greater shall provide landscape as follows:

1. A 10-foot landscape buffer shall be required along public streets.
2. All planted shrub, hedge and groundcover areas shall achieve a 100% coverage of their planting area within one year.
3. The background zone is measured from the edge of the landscape area farthest from the sidewalk and shall be no more than 60 percent of the landscape area.
4. The foreground zone is measured from the edge of the sidewalk up to 40 percent of the landscape area.
5. Additional features such as maximum 24-inch knee walls and maximum 48" decorative 'wrought iron' picket fences shall also be allowable elements. Decorative fences must have at least 50% of required buffer planting adjacent to right of way.
6. Permitted features for front buffers – sidewalks, signs, low wall and 'wrought iron' picket fences, retention features.
7. Prohibited features in front buffers – chain-link, wood or PVC fences, walls greater than 2 feet, loading, service or dumpsters areas or similar items may not be placed in the front buffer or in any additional 'open space' adjacent to the street or any direction visible from the street.

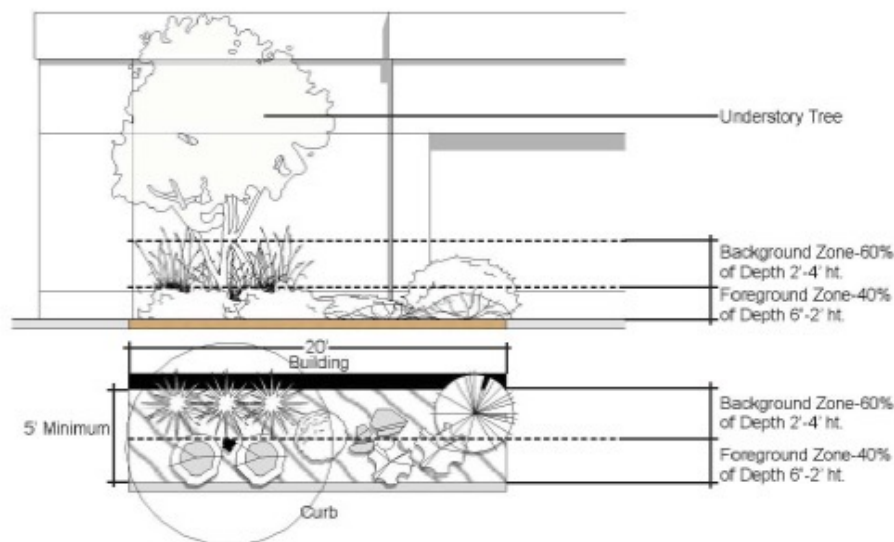


Figure 4, Front Buffer ND District

Sec. XX.01 Block Standards

In order to create a system of land subdivision and development which links one area to another, land should be organized by development blocks. When a proposed development is two (2) acres or greater for the Downtown Core area and three (3) acres for the North Downtown area, a block plan shall be required as part of the proposed development. The block plan must show the street layout, proposed parking areas and access drives, showing the number and size of spaces, aisles, loading areas, and handicapped access ramps. The proposed method of surfacing such areas shall be noted.

(a) The Downtown Core area blocks shall not exceed 350 ft. x 350 ft.

(b) The North Downtown blocks shall not exceed 400 ft. x 400 ft.

The street section shall be used for the overall standard for any newly constructed streets for the Downtown Land Development Code.



Figure 5, New Street Design

DESIGN PARAMETERS	MIN	MAX
Through Lanes (each direction)	1	2
Left Turn Lanes	--	1
Through Lane(s) Width (ft)	10	11
Bike Lane Width (optional, not required)	6	8
Parking Lane Width (ft) (1)	7	9
Public Frontage Zone (refer to Sec. X Landscape requirements)		
Private Frontage Zone Width (specific standards are located in the "private frontage requirements")		

Sec. XX.02 General Design Standards

The following standards apply to all buildings that are located within a Mixed-use development area except single family detached dwelling units.

(a) Screening requirements

1. Loading docks truck parking, outdoor storage, utility meters, HVAC equipment, trash dumpsters, trash compactors, and other service functions shall not be visible from any street or sidewalk or adjacent residential area as illustrated in figure xx. These facilities may be incorporated into the overall design of the principal building using screening walls of compatible material, style, color, texture, pattern, trim and details whether these service functions are attached or detached from the principal building.
2. The screening wall shall be one ft. higher than the largest object being screened, but not more than ten ft. high, on all sides where access is not needed. An opaque gate, with the same height as the wall, shall be included where access is needed.
3. Mechanical equipment at ground level shall be placed on the parking lot side of the building away from view from any streets, sidewalks and residential areas. The mechanical equipment shall be screened from view by fencing, vegetation, or parapet walls (if located on a roof) using the same materials as the principal building, i.e., stone, brick or stucco. The screening shall be at least equal to the width and height of the equipment to be screened from view.

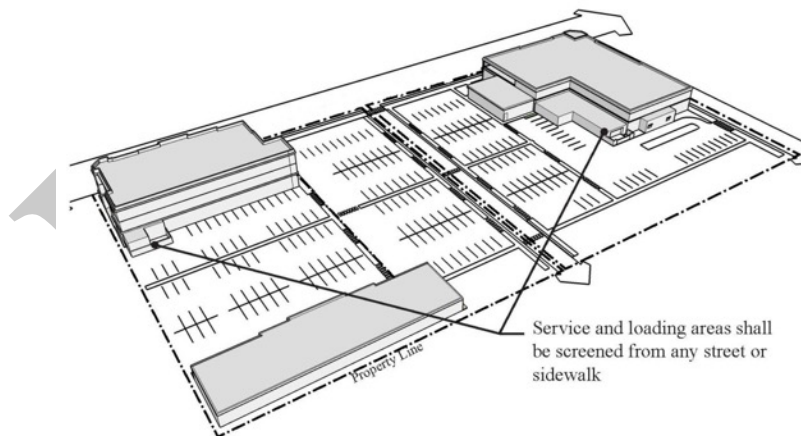


Figure 6, Screening Areas

(b) Public entrance

Buildings that are open to the public shall have an entrance for pedestrians from the street to the building interior. This entrance shall be designed to be a distinctive and prominent element of the architectural design, and shall be open to the public during business hours. Buildings shall incorporate lighting

and changes in mass, surface or finish which places an emphasis to the entrance.

(c) Building orientation

The primary building entrances shall be visible and directly accessible from a street or park space that has a sidewalk or pedestrian path. Building massing such as tower elements shall be used to call-out the location of building entries.

(d) Architectural Elements

Balconies, bay windows, chimneys, cantilevered rooms, and eaves may encroach into required setbacks as identified below and as may be further limited by the Texas Building Code.

1. Balconies: 6' max. into Street Build-to Line, Side Street Build-to Line and Rear Setbacks.
2. Bay windows, chimneys, cantilevered rooms, and eaves: 3' max. into all Setback areas identified in Diagram A. Building Placement, above.

(e) Fencing for residential building types

1. Privacy fences shall be not more than 6 feet in height and may be located along interior lot lines (sideyards and rearyards) to within 5 feet of the front facade of the principle building. Fences in the street side yard shall be subject to the requirements of front yard fencing.
2. All fencing shall be built out of attractive, long-lasting materials, such as wood, PVC, masonry, stone, wrought iron, aluminum, vinyl, or vinyl-coated wire.
3. Fences visible from public streets should be constructed of durable material and be detailed to include a distinctive cap/coping: columns of pilasters can also be used to provide details.
4. With masonry fences, the use of exposed or unfinished/unpainted concrete block is prohibited. For wood fences, the unfinished side shall not be visible from public streets.

(f) Lighting

Exterior lighting shall be designed with cut-off luminaries that are directed downward and away from other property so as to eliminate glare and light spillage to other property.

(g) Drive-Thru facilities and gas station pumps, when permitted must design as outlined.

1. Drive thru facilities and gas pumps shall be located at the rear of a building as illustrated below.
2. In the event that a rear drive-thru location is impossible, due to site constraints, then a side drive thru is permissible provided that all of the following requirements are met:
3. The drive thru facilities shall be screened to minimize visual and noise impacts to residences and to preclude visibility from any streets or sidewalks. A masonry wall and landscape buffer shall screen drive thru facilities. The wall shall be one ft. higher than the facilities being screened on all sides where access is not needed.
4. No portion of queuing or access lanes or driveways shall be located between the building and the street or within 40 ft. from the primary façade of the building.
5. For corner lots, the drive thru shall be located on the side of the building that is furthest from the corner.
6. Gas station pumps shall be located at the side or rear of the primary building and may not be visible to the street or sidewalk.

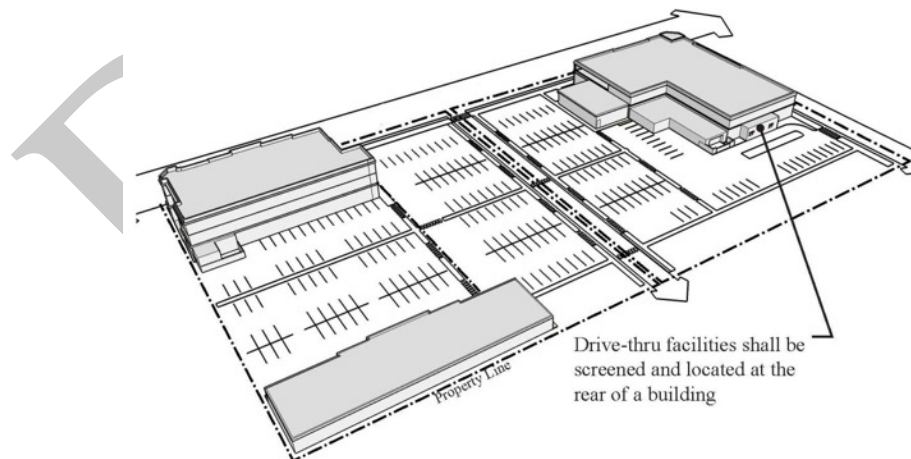


Figure 7, Drive-through facilities